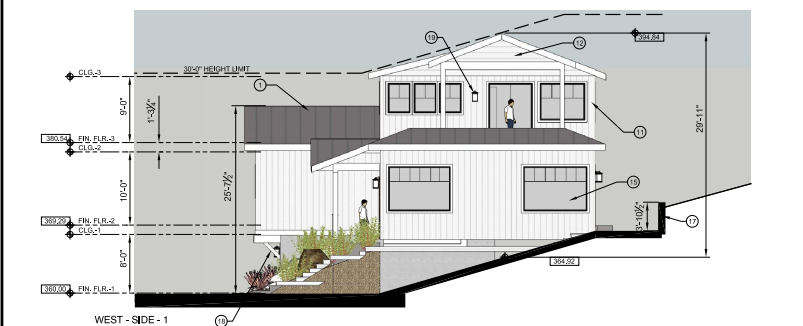


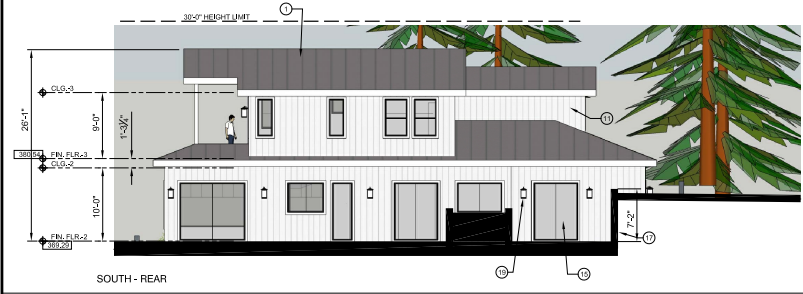




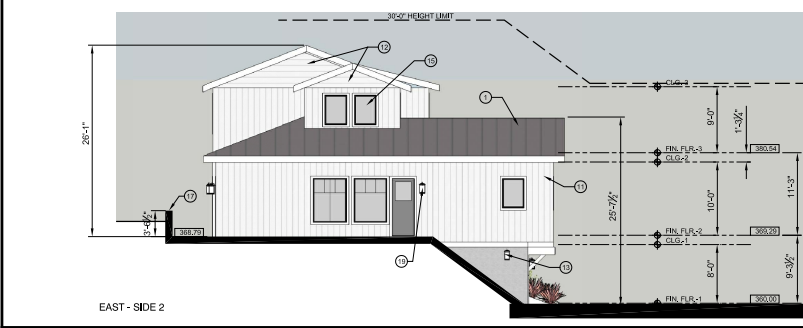
NORTH - FRONT



WEST - SIDE - 1



SOUTH - REAR



EAST - SIDE 2

PROPOSED 2d SCHEMATIC ELEVATIONS

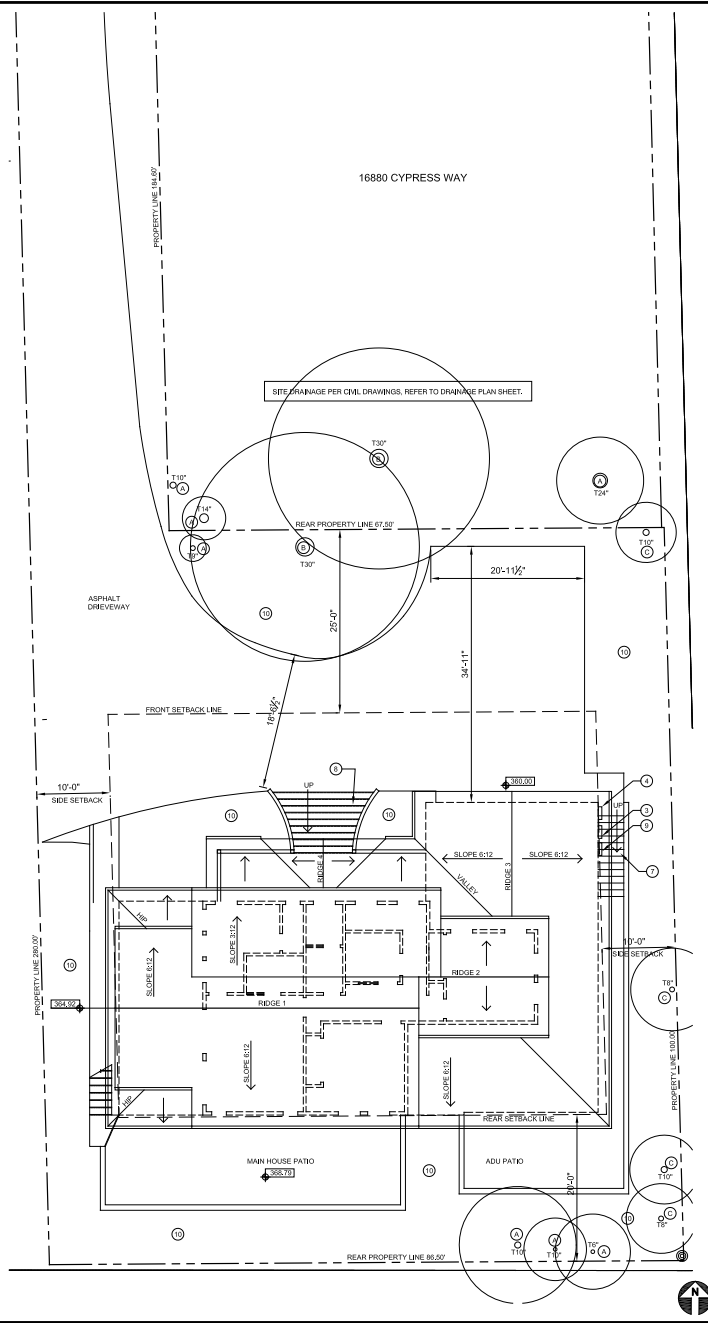
SCALE: 1/8" = 1'-0"

KEY NOTES

- ① (N) CLASS 'B' MIN. METAL SEAM ROOF, WITH SINGLE UNDERLAYMENT, PER CRC 905.
- ② (N) SADDLE / CRICKET ROOF
- ③ (N) UNDERGROUND 200AMP ELECT. SERVICE & METER
- ④ (N) GAS METER
- ⑤ (N) ROOF VENTS PER VENTILATION CALCULATIONS. DISTRIBUTE EQUALLY.
- ⑥ ROOF WATER LEADERS LEAD TO DOWNSPOUTS THAT ARE DIRECTED TO SPRINKLEHOLES OR OTHER IMPERVIOUS SURFACES THAT DEFLECT THE WATER AWAY FROM THE BUILDING. SLOPE 2% AWAY FROM FOUNDATION AREA.
- ⑦ SITE STEPS TO ADU ENTRY
- ⑧ SITE STEPS TO ENTRY PORCH
- ⑨ 2 NEW TANKLESS WATER HEATERS
- ⑩ LANDSCAPE PLANTING AREA
- ⑪ SIDING: BOARD-4-BATTEN, WHITE PAINTED WOOD
- ⑫ SIDING AT GABLE ENDS: HORIZONTAL CEM. BOARD LAP SIDING, WHITE PAINTED
- ⑬ SIDING AT GARAGE: CEM. PLASTER SIDING.
- ⑭ CRAFTSMAN STYLE GARAGE DOOR, WHITE
- ⑮ DARK BRONZE ALUMINUM WINDOWS WITH WHITE WOOD TRIM
- ⑯ COVERED MASTER BEDROOM BALCONY
- ⑰ CONCRETE RETAINING WALL
- ⑱ WOOD BRACKETS UNDER ADU WALL CANTILEVER
- ⑲ BLACK OUTDOOR FROSTED GLASS WALL LANTERN SCONCE. REFER TO SPECIFICATION ON SHEET A2.00

TREE LEGEND

- ① COAST LIVE OAK ② COAST REDWOOD ③ JAPANESE PRIVET



PROPOSED SITE / ROOF PLAN

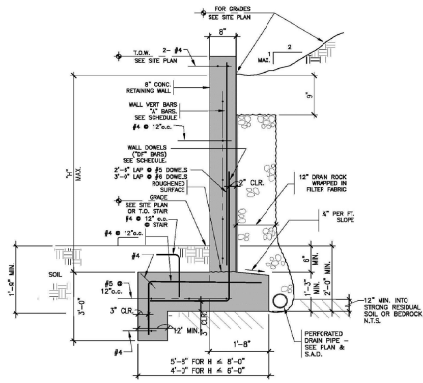
SCALE: 1/8" = 1'-0"





Ⓜ MOTION SENSOR WALL MOUNTED LED LIGHT FIXT. W/ FROSTED GLASS

Dimensions			
Product Depth (in.)	8.5 in	Product Width (in.)	7.5 in
Product Height (in.)	15.5 in		
Details			
Actual Color Temperature (K)	3100	Lumens	880
Color Rendering Index (CRI)	80+	Number of Lights	1 Light
Color Temperature	Bright White	Outdoor Lighting Features	Dark to Dawn
Compatible Bulb Type	LED	Package Quantity	1
Exterior Lighting Product Type	Outdoor Lanterns	Power Type	Hardwired
Feature Color/Finish	Black	Product Size	Small
Feature Material	Metal	Product Weight (lb.)	3.50 lb
Glass/Lens Type	Seedy	Material	30 Day
Included	Hardware Included	Source Type	Wall Lantern
Light Bulb Type Included	Integrated LED	Voltage Type	Low Voltage
Light Direction	Down		

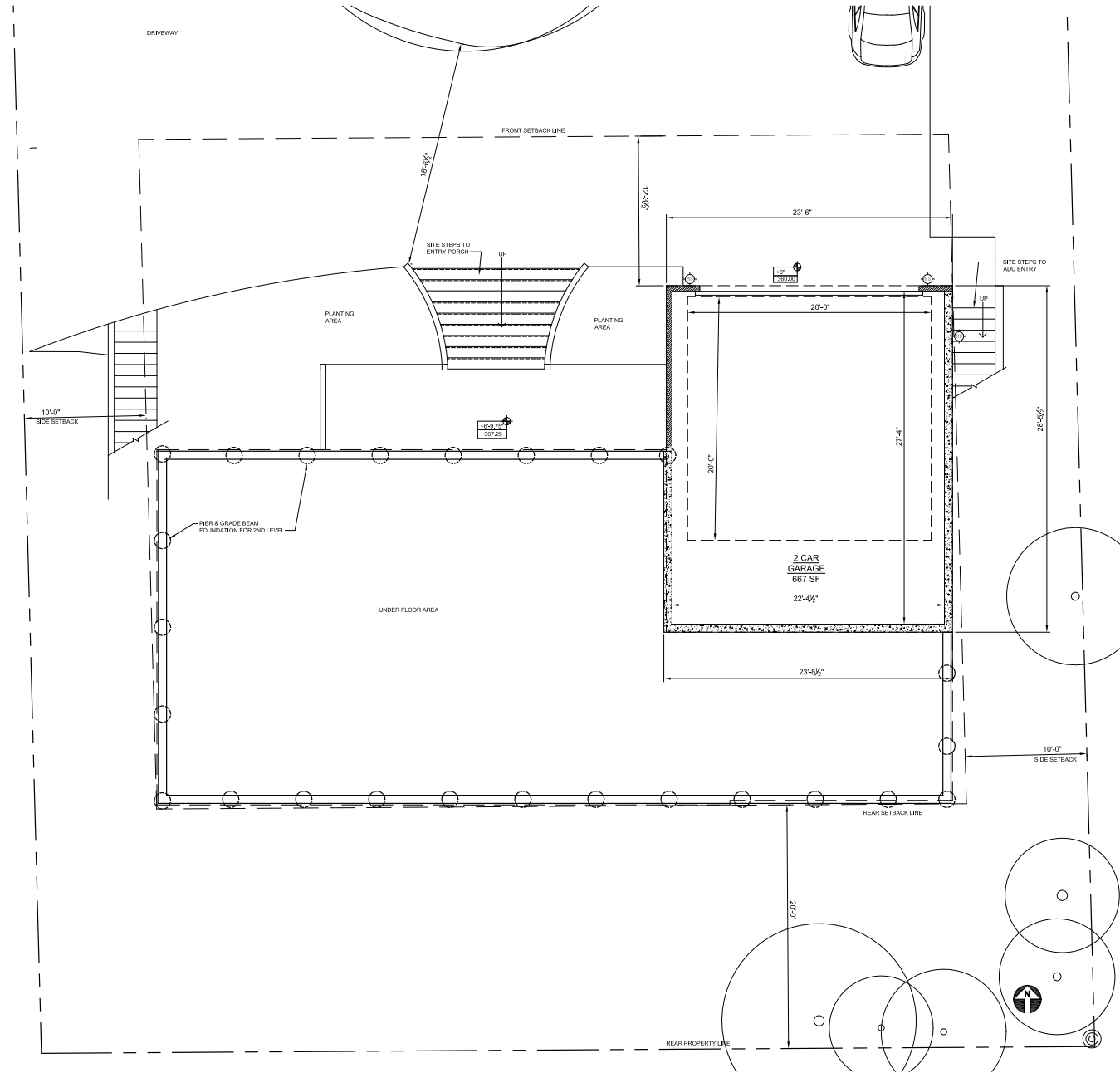


NOTE: KEY NOT REQUIRED @ STAIRS

RETAINING WALL SCHEDULE	
7'-1"	WALL BARS 12" BARS
8'-0"	#6 @ 12" o.c.
6'-0"	#5 @ 12" o.c.

(N) RETAINING WALL DETAIL:
CONCRETE RETAINING WALL

3/4" = 1'-0"



PROPOSED 1st FLOOR PLAN

SCALE: 1/8" = 1'-0"

Leopold Vandenberg, A.I.A. t. 650-224-6852

Leopold Design

777 ENRIGHT AVE., SANTA CLARA, CA 95050



NEW HOME FOR:
**THERESA WARREN &
CHRISTINE CAIN**
16890 CYPRESS WAY, LOS GATOS, CA 95030

PROPOSED 1ST FLOOR PLAN
NOTES

JOB NO.
16890_19

DATE:
MARCH 1, 2020

REVISIONS

SHEET NO.

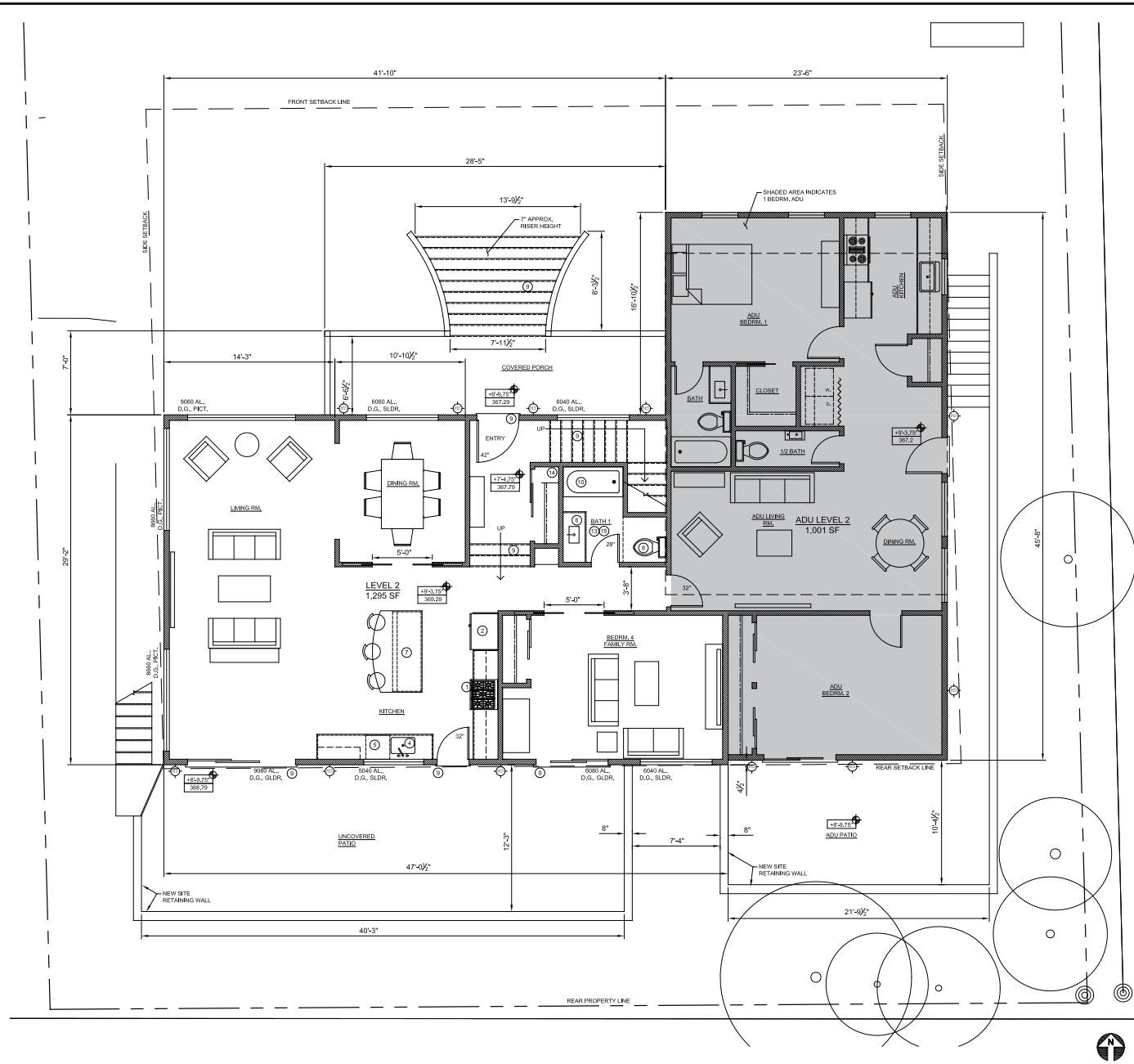
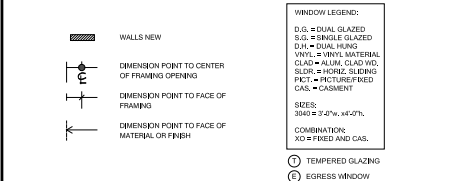
A2.00

DRAWN BY
LV

KEY NOTES

1. (X) GAS RANGE/W/ 100 MIN. HOOD ABOVE
2. (X) REFRIGERATOR
3. (X) MICROWAVE OVEN
4. (X) SINK #1, W/ CNTR. TOP PUSH BUTTON GARBAGE DISPOSAL & HOLE FOR SOAP DISPENSER
5. (X) DISHWASHER
6. (X) SINK CABINET AND FAUCET, SELECTED BY OWNER
7. ISLAND - FURNITURE STYLE
8. WATER CLOSURES TO HAVE A MIN. CLEAR SLAB SPACES OF 30" & A MINIMUM CLEAR SPACE OF 24" FR FRONT & 1,28 GAL. VOLUME FR KITCHEN
9. RISERS ON STEPS SHALL NOT BE GREATER THAN 7 7/8" AND NO LESS THAN 4" HIGH, THE GREATEST RISER HEIGHT SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8". THE RUN SHALL NOT BE LESS THAN 1' 0", THE LARGEST RUN SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/4". PROVIDE 30" MIN. WALK LANDING AT EXTERIOR ACCESS, IF DOOR SWING IS OVER LANDING - PROVIDE 1/2" MAX. HEIGHT DIFFERENTIAL BETWEEN FL. AND EXTERIOR LANDING.
10. SHOWER & TUB NOTES:
 - A. TEM. & SHOWER ENCLOSURE, DOOR & ADJACENT WINDSH. SHWR, DOOR SHALL NOT OPEN INTO THE SHOWER & BE 4 IN. MIN. 22" WIDE, GLASS COLOR & FASTENERS TO BE PROVIDED BY OWNER.
 - B. SHOWER SHALL BE PROVIDED W/INDOOR CONTROL VALVES OF THE PRESSURE BALANCE OR THE PRESSURE BALANCED MIXING VALVE TYPE.
 - C. SHOWER COMPARTMENTS SHALL HAVE A MIN. FINISHED ELEVATION OF 1024 SQUARE INCHES ABLE TO ENCOMPASS 3'0" DIAMETER CIRCLE.
 - D. LIGHTS OVER TUB & SHOWER SHALL BE LISTED FOR WET OR DAMP LOCATION.
 - E. PROVIDE SMOOTH, HARD, NONABSORBENT SURFACE OVER A MOISTURE RESISTANT UNDERLAYMENT TO A HEIGHT OF 7" ABOVE THE DRAIN LIFT. PLEASE NOTE: WATER-RESISTANT GP, BACKING BD, SHALL NOT BE USED OVER A VAPOR RETARDER IN SHOWER OR BATHTUB COMPARTMENTS. CRC 1802.21
11. SHOWER HEADS:
 1. SINGLE SHOWER HEAD - MAX. FLOW RATE OF NOT MORE THAN 1.5 GALLONS PER MINUTE @ 80psi
 2. SHOWER HEAD SHALL BE CERTIFIED TO EXCEED OPERATING PRESSURE OF THE U.S. EPA WATERSEAL SPECIFICATION FOR SHOWERHEADS.
 3. EACH SHOWER HEADS - THE COMBINED FLOW RATE OF ALL THE SHOWERHEADS ACROSS OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 1.8 GALLONS PER MINUTE @ 80psi OR THE SHOWER SHALL BE DESIGNED TO ONLY ALLOW 1 SHOWER OUTLET TO BE IN OPERATION @ A TIME.
12. ROOM ADDRESS NOTES: EVERY SLEEPING ROOM BELOW THE FOURTH FLOOR SHALL HAVE AT LEAST ONE WINDOW OR PATIO OR PORCH FOR EMERGENCY EXIT WHICH OPEN DIRECTLY ONTO A PUBLIC STREET, ALLEY, YARD OR COURTYARD. THE DISTANCE FROM THE FLOOR TO THE BOTTOM OF THE CLEAR OPENING SHALL NOT TO EXCEED 44". THE CLEAR OPENING SHALL HAVE A MIN. NET OPEN AREA OF 5.7 SQ.FT. (0.67 SQ. FT. @ GRADE FLOOR LEVEL) & W/ A MIN. 24" NET CLEAR OPENING HEIGHT & A MIN. 20" NET CLEAR OPENING WIDTH. (R310 RC2)
13. PROVIDE EXHAUST FANS IN ALL BATHROOMS CONTAINING TOILETS, BATHTUBS & SHOWERS.
14. IN BATHROOMS, ALL RECEPTACLES SHALL HAVE GFCI PROTECTION & W/ AT LEAST ONE RECEPTACLE MIN 36" OF EACH SIDE.
15. MEDIA CLOSET, COORDINATE ELECTRICAL AND PASSIVE COOLING W/ OWNER.
16. PROVIDE SOLID 2" BUCK FOR TOP FLOOR, BARS, 7/16" HOLDER, A TOWEL RING, COORDINATE PLACEMENT W/ OWNER.

LEGEND	
--------	--



PROPOSED 2nd FLOOR PLAN

PROPOSED 2nd FLOOR PLAN

Leopold Vandeneynde, A.I.A. t. 650-224-6852
Leopold Design 
 7777 ENRIGHT AVE., SANTA CLARA, CA 95050



NEW HOME FOR:
**THERESA WARREN &
CHRISTINE CAIN**
16890 CYPRESS WAY, LOS GATOS, CA 95026

PROPOSED 2ND FLOOR PLAN
KEY NOTES

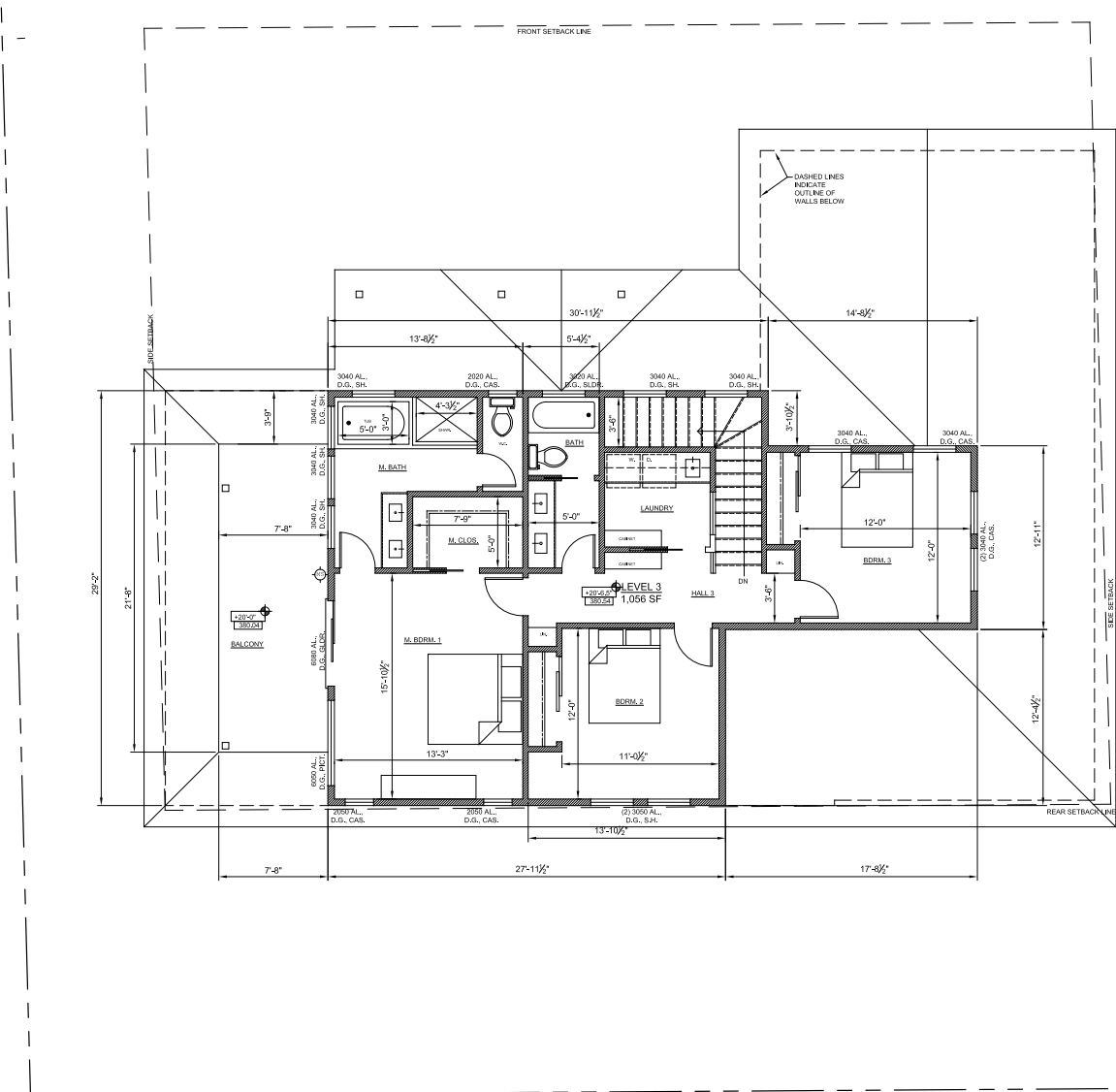
JOB NO.	DRAWN BY
16890_19	LV

DATE: MARCH 1, 2020

REVISIONS

SHEET NO.

A2.01



PROPOSED 3rd FLOOR PLAN

SCALE: 1/8" = 1'-0"



NEW HOME FOR:
**THERESA WARREN &
 CHRISTINE CAIN**
 16890 CYPRESS WAY, LOS GATOS, CA 95030

PROPOSED 3rd FLOOR PLAN
 NOTES

JOB NO.
 16890_19
 DATE:
 MARCH 1, 2020
 REVISIONS

SHEET NO.

A2.01



PROPOSED 3d SCHEMATIC ELEVATIONS

GROUNDCOVERS

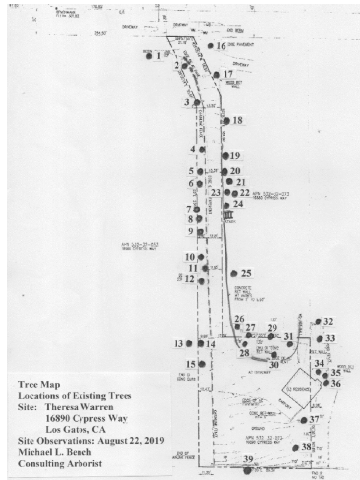
LLS	Lantana 'Lavender Spirit'	Lavender Spirit Lantana (Monrovia)	L	1 gal. @ 4" O.C. TO COVER
SCA	Scaveola 'Mauve Clusters'	Fan Flower	L	1 gal. @ 3" O.C. TO COVER
BARK MULCH				

Theresa Warren
16890 Cypress Way

List of Trees

Tree #	Tree Name	DBH inches	Height feet	Spread feet	Notes
1	Coast LiveOak	12	25.00	11.1	Shrub-like, Overhanging - Requires Pruning
2	Manzanita	18	40.00	12.1	Requires Pruning
3	Coast LiveOak	14.00	19.00	9.75	2.13
4	Coast LiveOak	12	25.00	11.1	Requires Pruning
5	Red Bay	15	40.00	11.4	Trained - Considered Sub-Standard Pruning
6	Coast LiveOak	10	17.00	1.3	Sub-Standard Specimen
7	Coast LiveOak	13	25.00	1.3	CC w/ 80
8	Coast LiveOak	8	25.00	1.1	
9	Coast LiveOak	18	37.00	1.4	Trained - Considered Sub-Standard Pruning
10	Coast LiveOak	5	37.00	1.2	
11	Coast LiveOak	6	40.00	1.3	
12	Adonis vernalis	10	40.00	1.1	
13	Coast LiveOak	12	25.00	1.2	
14	Pine	15	40.00	1.1	
15	Pine	18	40.00	1.2	Overhanging in Top 15 feet - Requires Pruning
16	Coast LiveOak	12	25.00	1.4	Trained for Line Clearing
17	Coast LiveOak	6	25.00	1.2	
18	Coast LiveOak	12	25.00	1.3	
19	Coast LiveOak	10	25.00	1.2	Leaning Over Road - Requires Pruning
20	Coast LiveOak	6	25.00	1.3	Leaning Over Road - Requires Pruning
21	Coast LiveOak	12	25.00	1.3	
22	Coast LiveOak	8	37.00	1.3	
23	Coast LiveOak	11	25.00	1.2	Lean into Road - Blank Injury - Photo
24	Coast LiveOak	18	25.00	1.1	
25	Coast LiveOak	7	37.00	1.1	
26	Coast LiveOak	12	25.00	1.2	
27	Coast LiveOak	12	25.00	1.2	
28	Coast LiveOak	18	25.00	1.3	Leaning Over Road - Requires Pruning
29	Coast LiveOak	12	25.00	1.2	Requires Pruning
30	Coast LiveOak	12	25.00	1.2	Requires Pruning
31	Coast LiveOak	12	25.00	1.2	Requires Pruning
32	Coast LiveOak	12	25.00	1.2	Requires Pruning
33	Coast LiveOak	12	25.00	1.2	Requires Pruning
34	Coast LiveOak	12	25.00	1.2	Requires Pruning
35	Coast LiveOak	12	25.00	1.2	Requires Pruning
36	Coast LiveOak	12	25.00	1.2	Requires Pruning
37	Coast LiveOak	12	25.00	1.2	Requires Pruning
38	Coast LiveOak	12	25.00	1.2	Requires Pruning
39	Coast LiveOak	12	25.00	1.2	Requires Pruning
40	Coast LiveOak	12	25.00	1.2	Requires Pruning
41	Coast LiveOak	12	25.00	1.2	Requires Pruning
42	Coast LiveOak	12	25.00	1.2	Requires Pruning
43	Coast LiveOak	12	25.00	1.2	Requires Pruning
44	Coast LiveOak	12	25.00	1.2	Requires Pruning
45	Coast LiveOak	12	25.00	1.2	Requires Pruning
46	Coast LiveOak	12	25.00	1.2	Requires Pruning
47	Coast LiveOak	12	25.00	1.2	Requires Pruning
48	Coast LiveOak	12	25.00	1.2	Requires Pruning
49	Coast LiveOak	12	25.00	1.2	Requires Pruning
50	Coast LiveOak	12	25.00	1.2	Requires Pruning

Prepared by:
Michael L. Beach,
Consulting Arborist



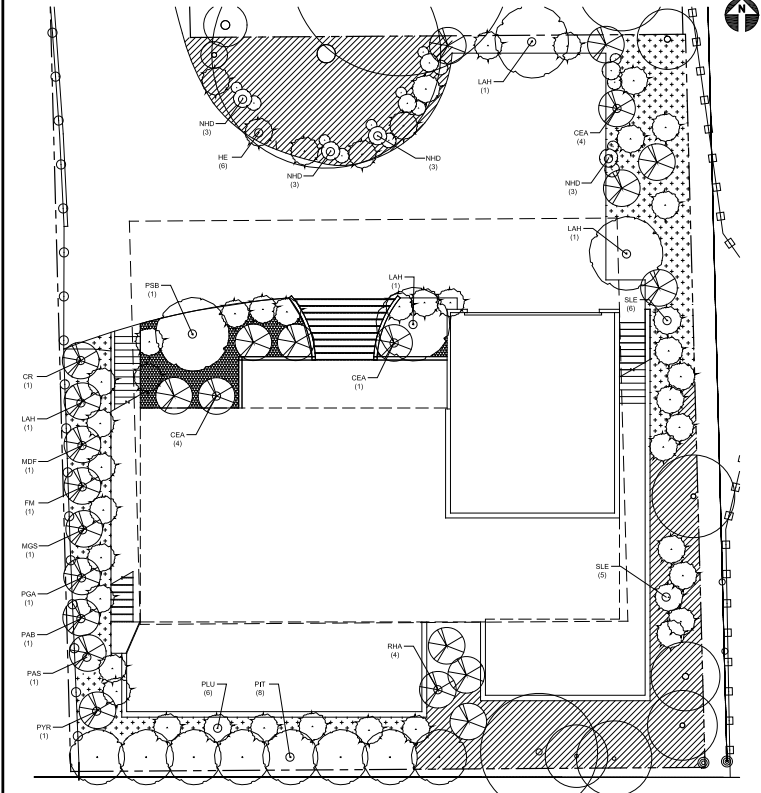
Tree Map
Locations of Existing Trees
Site: Theresa Warren
16890 Cypress Way
Los Gatos, CA
Site Observations: August 22, 2019
Michael L. Beach
Consulting Arborist

PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	"WUCOLS" RATING	SIZE / COMMENTS	QTY.
TEES					
CR	Citrus reticulata 'Blanco'	California Honey Mandarin	M	15 gal.	1
BB	Bougainvillea 'Blueberry Ice'	Blueberry Ice Bougainvillea	L	5 gal.	1
FM	Fortunella margarita 'Nagami'	Nagami Kumquat	M	15 gal.	1
LAH	Lagerstroemia 'Hopi'	Hopi Crape Myrtle	L	24" box multi-stem	3
MDF	Malus domestica 'Fuji'	Fuji Apple	M	15 gal.	1
MGS	Malus domestica 'Granny Smith'	Granny Smith Apple	M	15 gal.	1
PGA	Prunus americana 'Golden Amber'	Golden Amber Apricot	M	15 gal.	1
PAB	Prunus avium 'Bing, dwarf'	Bing Cherry, dwarf rootstock	M	15 gal.	1
PAS	Prunus avium 'Stella', dwarf'	Stella Cherry, dwarf rootstock	M	15 gal.	1
PPB	Prunus persica 'Balscock'	Balscock Peach, semi-dwarf preferred	M	15 gal.	1
PSB	Prunus salicina 'Burgundy'	Burgundy Plum	M	15 gal.	1
PYR	Pyrus pyrifolia var., dwarf stock	Asian Pear - variety to be selected	M	15 gal.	1
		- on dwarf rootstock			

SHRUBS / ANNUALS / PERENNIALS - IN CASE OF DISCREPANCY, QUANTITIES FOR ALL SHRUBS SHALL BE AS SHOWN ON PLAN.

BSW	Bougainvillea 'Sharon Wesley'	Sharon Wesley Bougainvillea	L	5 gal.	0
CEA	Ceanothus griseus horizontalis	Yankee Point California Lilac	L	5 gal.	10
		'Yankee Point'			
HE	Hebe 'Hemlock', var's to be selected	Daylily (evergreen or semi-evergreen)	M	1 gal.	6
NH	Nandina domestica	Heavenly Bamboo	L	5 gal.	0
NGS	Nandina 'Gulf Stream'	Gulf Stream Heavenly Bamboo	(not rated)	5 gal.	0
NHD	Nandina 'Harbour Dwarf'	Harbour Dwarf Nandina	(not rated)	5 gal.	12
PIT	Pittosporum tenuifolium 'Wrinkled Blue'	Wrinkled Blue Kohuhu	M	5 gal.	8
PLU	Plumbago auriculata	Cape Plum	L	5 gal.	6
RHA	Rhaphelepis indica 'Clara'	Clara Indian Hawthorn	L	5 gal.	4
SLE	Salvia leucantha	Mexican Bush Sage	L	5 gal.	11



PROPOSED LANDSCAPE PLAN

SCALE: 1/8" = 1'-0"

Leopold Vandenbergde, A.L.A. t. 650-224-6862
Leopold Design
777 ENRIGHT AVE., SANTA CLARA, CA 95050



NEW HOME FOR:
THERESA WARREN &
CHRISTINE CAIN
16890 CYPRESS WAY, LOS GATOS, CA 95030

LANDSCAPE PLAN
3D VIEWS
KEY NOTES
ARCHITECT MAP

JOB NO. 16890_19
DRAWN BY LV

DATE: MARCH 1, 2020

REVISIONS

SHEET NO.
A3.00

GreenPoint 1200 Nine Home Single Family Checklist Version 7.0

GreenPoint Basic Run-Time Single-Bandwidth Checklist, Version 7.0

FreePoint, Read Now Wave Single-Wave, Decided Version 2

LEGEND

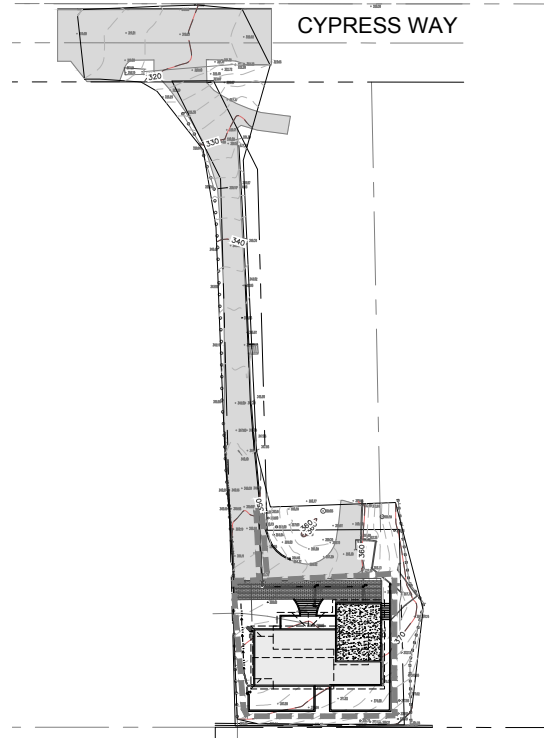
---	RECORD BOUNDARY LINE
---	(E) FLOWLINE
---	(P) FLOWLINE
---	(P) SHALLOW SWALE
---	DSL DRAINAGE SETBACK LINE
---	BE BUILDING ENVELOPE
---	WOOD FENCE
---	WIRE FENCE
---	LIMITS OF DISTURBANCE UNDER THIS PERMIT
---	WORK IN THE IN ROW USP
---	FIBER ROLL BARRIER
---	TREE PROTECTION
---	EXISTING MINOR CONTOUR
---	EXISTING MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
---	PROPOSED MAJOR CONTOUR
---	PER PLAN (E) CULVERT/STORMDRAIN W/SIZE & TYPE
---	PER PLAN (P) CULVERT/STORMDRAIN W/SIZE & TYPE
---	PER PLAN (P) PERFORATED/STORMDRAIN W/SIZE & TYPE
---	PER PLAN (P) SOLID PERFORATED OUTLET W/SIZE & TYPE
---	(E) ASPHALT CONCRETE SURFACE
---	(P) ASPHALT CONCRETE SURFACE
---	(E) GRAVEL SURFACE
---	(P) GRAVEL SURFACE
---	(E) CONCRETE SURFACE
---	(P) CONCRETE SURFACE
---	(E) DECKING
---	(P) DECKING
---	(E) PAVERS
---	(P) PAVERS
---	LANDSCAPE AREA S40
---	WALL
---	3 RANDOM CONTROL POINT W/1
---	EXISTING STORM DRAIN DROP INLET
---	PROPOSED STORM DRAIN DROP INLET
---	PROPOSED DOWNSPOUT LOCATION
---	FIRE HYDRANT
---	BOLLARD
---	WELL
---	SPOT ELEVATION
---	FINISH ELEVATION
---	TREE TYPE & DIA.
---	TREE TO BE REMOVED
---	WATER VALVE
---	BUILDING CALLOUTS
---	CONSTRUCTION KEYNOTES

ABBREVIATIONS

AC	ASPHALT CONCRETE	LA	LANDSCAPE AREA
AD	AREA DRAIN	LO	LIVE OAK TREE
BAY	BAY TREE	MAX	MAXIMUM
BVC	BEGIN VERTICAL CURVE ELEV	MIN	MINIMUM
BVCS	BEGIN VERTICAL CURVE STA	MNZ	MANZANITA TREE
BW	BOTTOM OF WALL	NIS	NOT TO SCALE
CL	CENTERLINE	O/	OVER
CMP	CORRUGATED METAL PIPE	OK	OAK TREE
CO	CLEAN OUT	OC	ON CENTER
DI	DRAIN INLET	(P)	PROPOSED
DS	DOWNSPOUTS	PERF	PERFORATED
(E)	EXISTING	PN	PINE TREE
EG	EXISTING GRADE	PT	POINT
EL	EASEMENT LINE	RCP	REINFORCED CONCRETE PIPE
EVCE	END VERTICAL CURVE ELEV	ROW	RIGHT OF WAY
EVCS	END VERTICAL CURVE STA	RD	REDWOOD TREE
ELEV	ELEVATION	SD	SEE ARCHITECTURAL DRAWINGS
FF	FINISHED FLOOR	SS	SANITARY SEWER
FG	FINISHED GRADE	SSD	SEE STRUCTURAL DRAWINGS
FR	FIR TREE	TBR	TO BE REMOVED
FL	FLOW LINE	TG	TOP OF GRADE
FS	FINISHED SURFACE	TW	TOP OF WALL
FSS	FIRE SAFE STANDARDS	UON	UNLESS OTHERWISE NOTED
GB	GRADE BREAK	USP	UNDER SEPARATE PERMIT
GEO	GEOTECHNICAL	VF	VERIFY IN FIELD
HP	HIGH POINT	VC	VERTICAL CURVE
INV	INVERT	WL	WATER LEVEL

LANDS OF WARREN GRADING & DRAINAGE DESIGN

16890 CYPRESS WAY, LOS GATOS
APN: 532-23-072



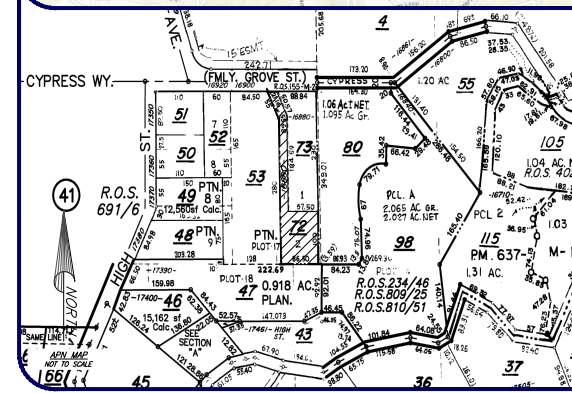
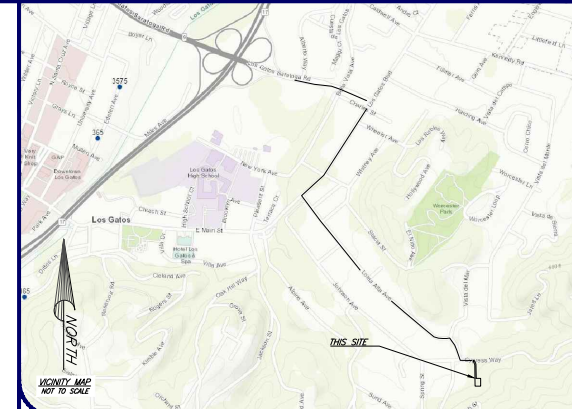
EARTHWORK QUANTITIES TOTAL

CUT = 199 C.Y.
FILL = 177 X 1.15 = 204 C.Y.
NET FILL = 5 C.Y.
DISTURBED AREA = 0.133 ACRES
AVERAGE SITE SLOPE = 14%

NOTE: APPROXIMATE EARTH QUANTITY PROVIDED FOR PERMIT VALUATION.
CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING ALL MATERIAL
TAKEOFFS.

SHEET INDEX

C1	TITLE SHEET
C2	GENERAL NOTES
C3	DRAINAGE DETAILS
C4	PRE AND POST
C5	PLAN & PROFILE
C6	EROSION CONTROL PLAN



PROJECT INFORMATION

PROJECT STATEMENT:
THESE PLANS WERE PREPARED TO FACILITATE THE GRADING AND DRAINAGE ACTIVITIES ASSOCIATED WITH THE PROPOSED RESIDENTIAL REDEVELOPMENT.

PROPERTY OWNERS:
THERESA WARREN
16890 CYPRESS WAY
LOS GATOS, CA 95030
(408)896-2479

DESIGNER INFORMATION-CIVIL:
HOGAN LAND SERVICES
2601 41ST AVENUE, SUITE A
SANTA CLARA, CA 95051
(831) 425-1617

TOPOGRAPHIC INFORMATION PROVIDED BY:
H. G. CAMPBELL & ASSOCIATES - (2019)

PROJECT DATUM & BENCHMARK:
1) BASE OF BENCHMARK: THE BEARING BETWEEN TWO FOUND MONUMENTS ALONG CYPRESS WAY AS SHOWN ON RECORD OF SURVEY BK 696 PG 05 SANTA CLARA COUNTY RECORDS

2) BENCHMARK: TOP OF MONUMENT AT THE INTERSECTION OF CYPRESS WAY AND LOMA ALTA STREET. ELEVATION 301.81 WAS USED AS TEMPORARY BENCHMARK FOR THIS SURVEY.

DESIGNER INFORMATION:
LEOPOLD DESIGN
777 ENRIGHT AVE.
SANTA CLARA, CA 95050

PERMITTING AGENCIES:
LEAD AGENCY:
TOWN OF LOS GATOS

GEOTECHNICAL ENGINEER:
GEOTECHNICAL CONSULTANTS (GEC)
4125 BLACKFORD AVE. SUITE 145
SAN JOSE, CA 95117
800-432-1752
REPORT DATED: 07/2019

PRELIMINARY
THESE PLANS WERE PREPARED BY ME OR UNDER MY DIRECTION AT THE REQUEST OF THERESA WARREN IN NOVEMBER, 2019

NO. 4201
CHK. 4201
DATE: 08/14/2019
JOB # 4201

HOGAN LAND SERVICES
A CALIFORNIA CORPORATION
2601 41ST AVENUE, SUITE A
SANTA CLARA, CA 95051
www.hoganls.com
TEL (831) 425-1617
FAX (831) 425-0221

APN: 532-23-072

TITLE SHEET

16890 CYPRESS WAY
LOS GATOS, CALIFORNIA

C1 OF 6

1. THE PERMITTEE AND THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE WORK TO BE PERFORMED IN COMPLIANCE WITH THE APPROVED PLANS AND SPECIFICATIONS AND ANY PERMIT CONDITIONS. WORK SHALL BE SUBJECT TO INSPECTION AS REQUIRED BY TOWN OF LOS GATOS BUILDING DIVISION, TO VERIFY COMPLIANCE. THE CONTRACTOR SHALL CONSULT THE PROJECT JOB CARD FOR COORDINATION OF INSPECTION REQUESTS.

- ### GRADING & DRAINAGE NOTES

- GRADING & DRAINAGE NOTES, CONT.

- IN THE EVENT CULVERT RESOURCES (I.E., HISTORICAL, ARCHAEOLOGICAL, RESOURCES, AND HUMAN REMAINS) ARE DISCOVERED DURING GRADING OR OTHER CONSTRUCTION ACTIVITIES, WORK SHALL BE STOPPED IMMEDIATELY UNTIL AN APPROPRIATE AGENCY HAS BEEN NOTIFIED. THAT AGENCY SHOULD BE NOTIFIED AT (800) 299-5770. A QUALIFIED ARCHAEOLOGIST SHALL BE CONSULTED FOR AN ON-SITE EVALUATION. ADDITIONAL MITIGATION MAY BE REQUIRED BY THE COUNTY PER THE ARCHAEOLOGIST'S RECOMMENDATIONS. IF ANY CULTURAL RESOURCES ARE ENCOUNTERED, THE CONTRACTOR SHALL ALSO NOTIFY THE COUNTY CORNER AT (800) 793-1900.
- SHOULD GRADING OPERATIONS ENCOUNTER HAZARDOUS MATERIALS, OR WHAT APPEAR TO BE HAZARDOUS MATERIALS, STOP WORK IMMEDIATELY IN THE AFFECTED AREA AND CONTACT 911 OR THE APPROPRIATE AGENCY FOR ASSISTANCE WITH DISPOSAL OF SUCH MATERIALS.
- RETAINING WALLS, UNLESS EXEMPTED, ARE NOT APPROVED UNDER A GRADING PERMIT. A SEPARATE-BUILDING PERMIT IS REQUIRED. REFER TO STRUCTURAL PLAN SET FOR RETAINING WALL DETAILS.
- EQUIPMENT SHALL NOT CROSS OR DISTURB CHANNELS OF ACTIVELY FLOWING STREAMS WITHOUT A SEPARATE APPROVED PERMIT AND BEST MANAGEMENT PRACTICES.
- GRADING AND DRAINAGE IMPROVEMENTS SHALL BE SET BACK FROM STREAMS, LAKES, PONDS, AND WETLANDS IN COMPLIANCE WITH THE REQUIREMENTS OF TOWN CODE. EXISTING VEGETATION SHALL BE PRESERVED WHERE POSSIBLE AND REPLANTED AS NECESSARY TO PREVENT EROSION AND WATER POLLUTION.
- EXCESS SOIL SHALL BE REMOVED FROM THE SITE UNLESS DEFECTED TO REMAIN ON SITE PER THE APPROVED PLAN. THE SITE RECEIVING SOIL MAY REQUIRE A GRADING PERMIT UNLESS EXEMPTED BY TOWN CODE.
- CONTIGUOUS, ELEVATIONS, SLOPES, AND SHAPES TO BLENDED SURFACES SHALL BE BLENDED WITH ADJACENT TERRAIN. ALL CHANGES MUST BE CONSISTENT WITH THE TOWN CODE APPLICABLE TO THE PROJECT. SOILS SHALL BE ROUNDED OFF TO BLEND WITH THE NATURAL TERRAIN. ROUNDERS OF CUT SLOPES AND FILLS SHALL BE ROUNDED OVER TO A MINIMUM RADIUS OF 5 FEET TO BLEND WITH THE NATURAL TERRAIN.
- FILL MATERIAL SHALL NOT INCLUDE ORGANIC, POISON, OR OTHER HAZARDOUS MATERIALS. NO ROCK OR SIMILAR IRREDUCIBLE MATERIAL GREATER THAN 6 INCHES IN ANY DIMENSION SHALL BE INCLUDED IN FILL. FILL SHALL BE PLACED IN LAYERS NOT THICKER THAN 18 INCHES. FILL SHALL NOT EXCEED 8 INCHES IN DEPTH. COMPACTED FILLS SHALL BE STABLE WELL-INTEGRATED, AND BONDED TOGETHER TO FORM A SINGLE UNIT. FILL SHALL BE PROTECTED AGAINST EROSION BY MEANS OF SUPPORT ANTICIPATED LOADS AND BE STABLE AT THE DESIGN SPEEDS SHOWN ON THE APPROVED PLANS AND SPECIFICATIONS OR AS DIRECTED BY THE SOILS ENGINEER.
- GROUND SURFACES SHALL BE PREPARED TO RECEIVE FILL BY REMOVING VEGETATION, TOPSOIL, AND OTHER MATERIALS, AND SCARPING GROUND APPROXIMATELY 10% TO 20% TO PROVIDE A BOND WITH THE FILL MATERIAL.
- FILL SHALL NOT BE PLACED ON NATURAL SLOPES STEEPER THAN 2H:1V (50%) UNLESS SPECIFICALLY ALLOWED IN WRITING BY THE PROJECT GEOLOGICAL ENGINEER AND APPROVED BY TOWN OF LOS GATOS BUILDING DEPARTMENT.
- FILLS INTENDED TO SUPPORT STRUCTURES OR SURCHARGES SHALL BE COMPACTED TO A MINIMUM OF 90% OF MAXIMUM DRY DENSITY, AS DETERMINED BY ASTM D 1557; MODIFIED PROCTOR. A HIGHER COMPACTION PERCENTAGE MAY BE REQUIRED BY THE SOILS ENGINEER.
- FILLS NOT INTENDED TO SUPPORT STRUCTURES OR SURCHARGES SHALL BE COMPACTED AS FOLLOWS:
 - (1) FILLS LESS THAN 18 INCHES IN DEPTH SHALL BE TO THE DENSITY SPECIFIED BY THE SOILS ENGINEER;
 - (2) FILLS NOT GREATER THAN 3 FEET IN DEPTH SHALL BE COMPACTED TO THE DENSITY NECESSARY FOR THE INTENDED USE OR AS DIRECTED BY THE SOILS ENGINEER.
- HOGAN LAND SERVICES HAS EXERCISED A REASONABLE AND ACCEPTABLE STANDARD OF CARE IN THE DEVELOPMENT OF THESE PLANS. HOWEVER, THE DEVELOPER/OWNER DOES ACKNOWLEDGE THAT, OUT THROUGHOUT CONSTRUCTION, THESE ACTIVITIES INCLUDING CALCULATIONS, PLAN CHECKS AND VERIFICATIONS DURING CONSTRUCTION, SHOULD PERSONS OTHER THAN HOGAN LAND SERVICES PERFORM. HOGAN LAND SERVICES ASSUMES NO LIABILITY FOR ANY DAMAGE TO PROPERTY OR PERSONS RESULTING FROM FAILURE TO PERFORM THESE TASKS OR ANY EXPENSES OR DAMAGE RESULTING FROM ANY CLAIMS OR DAMAGES INCURRED IN THE PLANS WHICH WOULD REASONABLY HAVE BEEN DISCOVERED AND CORRECTED BY HOGAN LAND SERVICES.
- PRIOR TO ANY CORRECTIVE ACTION BY THE CONTRACTOR WHICH IS NECESSARY DUE TO ANY ALLEGED STANDING ERROR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER FOR RE-STANDING AND VERIFICATION OF THE ORIGINAL STANDING. ONLY WHEN THE ENGINEER HAS REVIEWED THE CORRECTIVE ACTION AND ORIGINAL STANDING IS DONE BY OTHERS, HOGAN LAND SERVICES ASSUMES NO LIABILITIES FOR THE COSTS OF ANY CORRECTIVE ACTION. HOGAN LAND SERVICES ASSUMES THAT ANY CORRECTIVE ACTION WILL REQUIRE FINANCIAL PARTICIPATION BY THE ENGINEER. THAT AMOUNT SHALL BE ACCRUED TO BY THE ENGINEER IN WRITING PRIOR TO ANY CORRECTIVE ACTION. FAILURE TO OBTAIN WRITTEN ACCEPTANCE OF ANY CORRECTIVE ACTION SHALL BE CONSIDERED A WAIVER OF THE RIGHT TO REQUEST REVISIONS.
- REFER TO THE PROJECT GEOLOGICAL REPORT FOR ADDITIONAL AND OVERRIDING SPECIFICATIONS.
- DRAINAGE CALCULATIONS ASSOCIATED WITH THESE PLANS WERE PREPARED BASED ON CURRENT AGYRA STANDARDS. DRAINAGE ELEMENT SIZING HAS BEEN BASED ON THE 10 YEAR STORM EVENT AND AN INSTANTANEOUS DRAINAGE PLANE AND FREE OF OBSTACLES. THE OWNER SHALL BE RESPONSIBLE FOR ROUTINE MAINTENANCE OF THE DRAINAGE SYSTEM.

TREE PROTECTION NOTES

1. PLASTIC TREE PROTECTION FENCING SHOULD BE INSTALLED AT THE DRIP LINES OF TREES TO REMAIN IN CONSTRUCTION ZONE (OR THE OUTER EDGE OF THE DRIP LINE OF GROUPS OF TREES) IF ACCESS WITHIN THE CONSTRUCTION ZONE IS REQUIRED. FENCING SHOULD BE INSTALLED PRIOR TO START OF CONSTRUCTION. FENCING SHOULD BE KEPT IN PLACE THROUGHOUT CONSTRUCTION ACTIVITIES.
2. WHEN PRUNING FOR CLEARANCE IS REQUIRED ON ANY TREE TO REMAIN, IT SHOULD BE DONE BY A LICENSED ARBORIST. PRUNING SHOULD BE ACCORDING TO ISA PRUNING GUIDELINES. PRIOR TO CONSTRUCTION, PRUNING SHOULD BE THE MINIMUM NECESSARY FOR HAZARD REDUCTION (I.E. THE REMOVAL OF DEADWOOD 2" AND LARGER, ETC.) AND CLEARANCE.
3. IF ANY ROOTS LARGER THAN 1" ARE ENCOUNTERED, FOR TREES TO BE SAVED, THEY SHOULD BE CUT CLOSE TO THE FACE OF THE ROOT WITH A SHARP SAW. ROOTS SHALL BE KEPT MOST MINIMAL EXPOSED.
4. WOOD CHIP MULCH GENERATED FROM PRUNING AND REMOVALS SHOULD BE SPREAD UNDER REMAINING TREES DURING TO SERVE AS PERMANENT TOP DRESSING AND MULCH.
5. NO PARKING, OPERATION OF EQUIPMENT, STORAGE OF MATERIALS, DISPOSAL OF WASTE OR OTHER CONSTRUCTION ACTIVITY SHALL OCCUR WITHIN DRIP LINES OF PROTECTED TREES.
6. OWNERS SHALL BE RESPONSIBLE FOR CONSULTING WITH ARBORIST REGARDING CONSTRUCTION IMPACTS ON EXISTING TREES.

EROSION PREVENTION & SEDIMENT CONTROL NOTES

GENERA

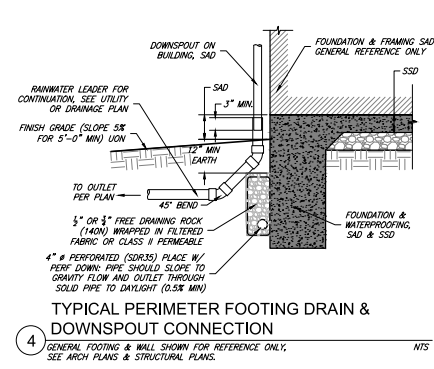
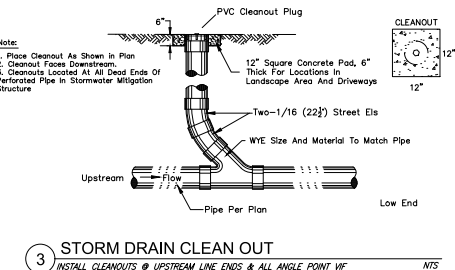
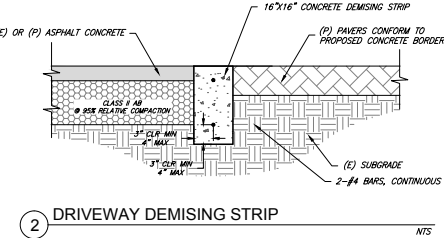
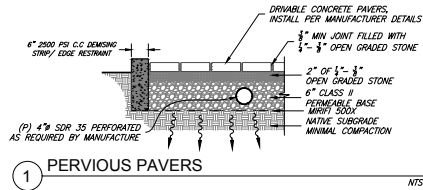
1. PERFORM EROSION PREVENTION AND SEDIMENT CONTROL IN ACCORDANCE WITH THE TOWN OF LOS GATOS CODE & THE STATE ISSUED GENERAL CONSTRUCTION PERMIT SPECIFICATIONS (SWPPP) (OVER 1 ACRE INSTALLED).
 2. THE APPROVED PLANS SHALL CONFORM WITH THE TOWN OF LOS GATOS BUILDING DIVISIONS/ENGINEERING DEPARTMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs) GUIDE AS POSTED ON THE TOWN OF LOS GATOS WEBSITE. REFER TO THE CSDA CONSTRUCTION HANDBOOK FOR ADDITIONAL INFORMATION AND DETAILS.
 3. THE OWNER IS RESPONSIBLE FOR PREVENTING STORM WATER POLLUTION GENERATED FROM CONSTRUCTION SITE YEAR-ROUND. WORK SITES WITH INADEQUATE EROSION AND SEDIMENT CONTROL, MAY BE SUBJECT TO A STOP WORK ORDER.
 4. IF DISCREPANCIES OCCUR BETWEEN THESE NOTES, MATERIAL REFERENCED HEREIN OR MANUFACTURER'S RECOMMENDATIONS, THEN THE MOST PROTECTIVE SHALL APPLY.
 5. AT ALL TIMES THE OWNER IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH THE STATE OF CALIFORNIA'S CONSTRUCTION ACTIVITY POLLUTION PREVENTION, CONTROL, AND TREATMENT WASTE DISCHARGE REQUIREMENTS FOR DISCHARGES OF STORM WATER RUNOFF ASSOCIATED WITH CONSTRUCTION ACTIVITIES. CONSTRUCTION ACTIVITIES ARE LIMITED TO CLEANING, GRADING, EXCAVATION, STOCKPILING, AND RECONSTRUCTION OF EXISTING FACILITIES INVOLVING REMOVAL AND REPLACEMENT.
 6. THE LEGALLY RESPONSIBLE PERSON (LWP) IS RESPONSIBLE FOR COMPLIANCE WITH THE PROVISIONS OF THE TOWN OF LOS GATOS CONSTRUCTION PERMIT (RPO). THIS INCLUDES BUT IS NOT LIMITED TO, INSTALLATION OF ONSITE BMPs, COMPLIANCE WITH SWPPP SPECIFICATIONS, AND ANNUAL AND STORM BASED INSPECTIONS. THESE INSPECTIONS SHOULD BE REQUESTED OF HOGAN LAND SERVICES (PROJECT WEBSITE: www.hoganland.com) WITHIN 10 BUSINESS HOURS PRIOR TO SCHEDULED MONITORING.
 7. THE LWP IS RESPONSIBLE FOR MAINTAINING CONSTRUCTION OPERATIONS WITHIN THE LIMITS OF PERMITS REGULATIONS AND THE LOCAL PERMIT SPECIFICATIONS.
- RANLY SEASON OPERATIONS**
1. THE OWNER MUST IMPLEMENT AN EFFECTIVE COMBINATION OF EROSION PREVENTION AND SEDIMENT CONTROL ON ALL DISTURBED AREAS DURING THE RAINY SEASON (OCTOBER 15 – APRIL 15) IN ADDITION TO COMPLYING WITH THE RPO PERMIT, GRADING AND DRAINAGE IMPROVEMENTS SHALL BE REQUIRED AND CONSTRUCTION SHALL BE LIMITED TO THE MAXIMUM EXTENT PRACTICABLE. AREAS THAT ARE NOT BEING PERFORMED IN COMPLIANCE WITH TOWN OF LOS GATOS CODE, STORM WATER BMPs REFERENCED HEREIN, AND THE TOWN OF LOS GATOS CONSTRUCTION BEST MANAGEMENT PRACTICES GUIDE SHALL BE IMPLEMENTED AND FUNCTIONAL ON THE SITE AT ALL TIMES.
 2. THE AREA OF LAND AT RISK FOR EROSION AT ANY ONE TIME DURING THE WORK SHALL NOT EXCEED 1 ACRE OR 20% OF THE PERMITTED WORK AREA, WHICHEVER IS GREATER, AND THE TIME OF DAY SHALL BE LIMITED TO THE MAXIMUM EXTENT PRACTICABLE. AREAS THAT ARE NOT BEING ACTIVELY WORKED ON SHALL HAVE BMPs INSTALLED UNTIL CONSTRUCTION IN THE AREA RESUMES.
 3. AGRICULTURAL GRADING AND DRAINAGE IMPROVEMENTS, AND INITIAL LAND PREPARATION WORK FOR VINEYARD AND ORCHARD PLANTING, SHALL BE PERMITTED DURING THE RAINY SEASON ONLY FROM NOVEMBER 15 TO APRIL 15. ALL OTHER CONSTRUCTION CONDITIONS PERMIT THE WORK TO BE PERFORMED IN COMPLIANCE WITH TOWN CODE.
- YEAR-ROUND REQUIREMENTS**

1. DURING THE NON-RAINY SEASON, ON ANY DAY WHEN THE NATIONAL WEATHER SERVICE FORECAST IS A CHANCE OF RAIN OF 30% OR GREATER WITHIN THE NEXT 24 HOURS, STORM WATER BMPs SHALL BE MAINTAINED AND INSPECTED TO ENSURE THEY ARE PROPERLY MAINTAINED, OPERATING, IMPLEMENTED, INSTALLED, AND FUNCTIONAL ON THE SITE TO PREVENT SOIL AND OTHER POLLUTANT DISCHARGES. AT ALL OTHER TIMES, BMPs SHOULD BE STORED ON SITE IN PREPARATION FOR USE.
2. EROSION PREVENTION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED BY THE OWNER BEFORE FORECASTED STORM EVENTS AND AFTER STORM EVENTS TO ENSURE MEASURES ARE FUNCTIONING PROPERLY. EROSION PREVENTION AND SEDIMENT CONTROL MEASURES THAT HAVE BEEN DAMAGED OR NO LONGER FUNCTION PROPERLY SHALL BE REPAIRED OR REPLACED.
3. EROSION PREVENTION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE RESTORED TO ORIGINAL OR BETTER CONDITION.
4. THE LIMITS OF GRADING SHALL BE DEFINED AND MARKED ON SITE TO PREVENT DAMAGE TO SURROUNDING VEGETATION, PRESERVATION OF EXISTING VEGETATION SHALL OCCUR TO THE MAXIMUM EXTENT PRACTICABLE. ANY EXISTING VEGETATION WITHIN THE LIMITS OF GRADING THAT IS TO REMAIN SHALL BE IDENTIFIED AND PROTECTED FROM DAMAGE BY MACHINERY, FENCING, OR OTHER MEASURES.
5. CHANGES TO THE EROSION PREVENTION AND SEDIMENT CONTROL PLAN MAY BE MADE TO RESPOND TO FIELD CONDITIONS AND SHALL BE NOTED ON THE PLAN.
6. DISCHARGES OF POTENTIAL POLLUTANTS FROM CONSTRUCTION SITES SHALL BE PREVENTED USING BEST MANAGEMENT PRACTICES. BEST MANAGEMENT PRACTICES FOR POLLUTION PREVENTION ARE NOT LIMITED TO: SEDIMENT, TRUCK, NUTRIENTS, PATHOGENS, PETROLEUM HYDROCARBONS, METALS, CONCRETE, CEMENT, ASPHALT, LIME, PLANT, STAINS, GLUES, WOOD PRODUCTS, PESTICIDES, HERBICIDES, FERTILIZERS, HAZARDOUS WASTE, SANITARY WASTE, VEHICLE OR EQUIPMENT WASH WATER, AND CHLORINATED WATER.
7. ENTRANCES TO THE CONSTRUCTION SITE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OF FLOWING OF POTENTIAL POLLUTANTS OFFSITE. ALL POTENTIAL POLLUTANTS DEPOSITED ON THE SITE SHALL BE REMOVED IMMEDIATELY. TRACKING OF POLLUTANTS OFF SITE SHALL BE PROPERLY STOPPED AT THE END OF EACH WORKING DAY OR MORE FREQUENTLY AS NECESSARY TO PREVENT TRACKING OF POLLUTANTS OFF SITE. TRACKING OF POLLUTANTS OFF SITE SHALL BE STOPPED ON THE DAILY BASIS TO PREVENT DUST, SILT, AND DIRT FROM BEING RELEASED OR TRACKED OFFSITE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AT THE END OF EACH WORKING DAY OR MORE FREQUENTLY AS NECESSARY.
8. ALL DISTURBED AREAS SHALL BE PROTECTED BY USING EROSION PREVENTION MEASURES TO THE MAXIMUM EXTENT PRACTICABLE, SUCH AS ESTABLISHING VEGETATION COVERAGE, HYDROSEEDING, STRAW MULCH, GEOTEXTILES, PLASTIC COVERINGS, BLANKETS OR MATS. TEMPORARY OR PERMANENT EROSION PREVENTION MEASURES SHALL BE MAINTAINED AND RE-INSTALLED AS NECESSARY. IN ALL CASES PRIOR TO OCTOBER 15, PRIOR TO FINAL INSPECTION, ALL DISTURBED AREAS SHALL BE STABILIZED AND RE-VEGETATED TO THE COVER OF UNDISTURBED SOIL. IF RE-INSTALLED.
9. WHENEVER IT IS NOT POSSIBLE TO USE EROSION PREVENTION MEASURES ON EXPOSED SLOPES, THE CONTRACTOR SHALL DEVELOP A DUST CONTROL PLAN AND FENCING SHALL BE INSTALLED TO PREVENT SEDIMENT MOVEMENT. FIBER ROLLS AND SILT FENCES SHALL BE TRENCHED AND KEPT OPEN AND MAINTAINED ON CONTOUR. SILT FENCES SHALL BE INSTALLED APPROXIMATELY 2 TO 5 FEET FROM TOE OF SLOPE.
10. HYDROSEEDING SHALL BE CONDUCTED IN A THREE STEP PROCESS. FIRST, EVENLY APPLY SEED MIX AND FERTILIZER TO THE EXPOSED SLOPE. SECOND, EVENLY APPLY MULCH OVER THE SEED AND FERTILIZER. THIRD, WATER THE SEEDS AND FERTILIZER. A SINGLE STEP PROCESS, WITH SEED, FERTILIZER, WATER, AND BONDED FIBER IS ACCEPTABLE.

APPLICATIONS SHALL BE BROADCASTED MECHANICALLY OR MANUALLY AT THE RATES SPECIFIED BELOW. SEED MIX AND FERTILIZER SHALL BE WORKED INTO THE SOIL BY ROLLING OR TAMPING. IF STRAW IS USED AS MULCH, STRAW SHALL BE DERIVED FROM WHEAT, RICE, OR BARLEY AND BE APPROXIMATELY 6 TO 8 INCHES IN LENGTH. STABILIZATION OF MULCH SHALL BE DONE HYDRAULICALLY BY APPLYING AN EMULSION OR MECHANICALLY BY CRIMPING OR PUNCHING THE MULCH INTO THE SOIL. EQUIVALENT METHODS AND MATERIALS MAY BE USED ONLY IF THEY ADEQUATELY PROMOTE VEGETATION GROWTH AND PROTECT EXPOSED SLOPES.

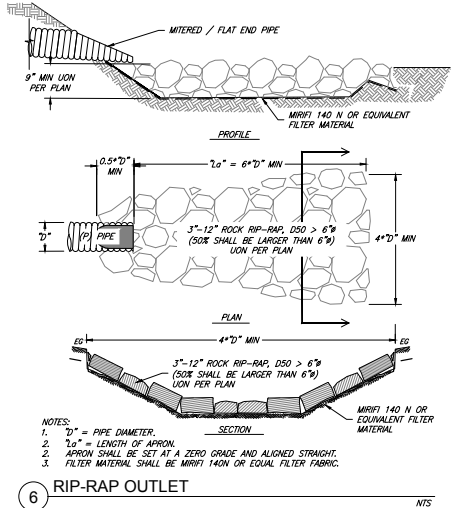
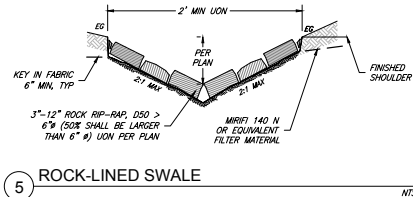
MATERIALS	APPLICATION RATE (POUNDS PER ACRE)
SEED MIX	
BROMUS MOLLIS (BLANDS BROME)	40
TRITICUM HARTUM (HYGON ROSE CLOVER)	20
FERTILIZER	
16-20-0 & 15% SULPHUR	500
MULCH	
STRAW	4000
HYDRA-MUL STARBLIZING [®]	
M-BINDER OR SENTINEL	75-100
EQUIVALENT MATERIAL	PER MANUFACTURER
*NON-ASPHALTIC, DERIVED FROM PLANTS	

10. DUST CONTROL SHALL BE PROVIDED BY CONTRACTOR DURING ALL PHASES OF CONSTRUCTION.
11. STORM DRAIN INLETS SHALL BE PROTECTED FROM POTENTIAL POLLUTANTS UNTIL DRAINAGE CONNECTIONS SYSTEMS ARE FUNCTIONAL AND CONSTRUCTION HAS BEEN COMPLETED.
12. ENERGY DISSIPATORS SHALL BE INSTALLED AT STORM DRAIN OUTLETS WHICH MAY CONVEY EROSION STORM WATER FLOW.
13. SOIL, MATERIAL STOCKPILES, AND FERTILIZING MATERIAL SHALL BE PROPERLY PROTECTED TO MINIMIZE SEDIMENT AND POLLUTANT TRANSPORT FROM THE CONSTRUCTION SITE.
14. SOIL WASTE, SUCH AS TRASH, DISCARDED BUILDING MATERIALS AND DEBRIS SHALL BE PLACED IN DESIGNATED COLLECTION AREAS OR CONTAINERS. THE CONSTRUCTION SITE SHALL BE CLEARED OF SOIL WASTE ONLY AS NECESSARY. REGULAR REMOVAL AND PROPER DISPOSAL SHALL BE COORDINATED BY THE CONTRACTOR.
15. A CONCRETE WASHOUT AREA, SUCH AS A TEMPORARY PIT, SHALL BE DESIGNATED TO CLEAN CONCRETE TRUCKS AND TOOLS. AT NO TIME SHALL CONCRETE PRODUCTS AND WASTE BE ALLOWED TO ENTER ANY DRAINAGE INFRASTRUCTURE OR FROM DRAINAGE. NO WASHOUT OF CONCRETE, MORTAR MIXTURES, OR TRUCKS SHALL BE ALLOWED ON SOIL.
16. PROPER APPLICATION, CLEANING, AND STORAGE OF POTENTIALLY HAZARDOUS MATERIALS, SUCH AS PAINTS AND CHEMICALS, SHALL BE CONDUCTED TO PREVENT THE DISCHARGE OF POLLUTANTS.
17. TEMPORARY RESTROOMS AND SANITARY FACILITIES SHALL BE LOCATED TO PREVENT THE DISCHARGE OF POLLUTANTS.
18. APPROPRIATE VEHICLE STORAGE, FUELING, MAINTENANCE, AND CLEANING AREAS SHALL BE DESIGNATED AND MAINTAINED TO PREVENT DISCHARGE OF POLLUTANTS.



1 SUBGRADE PREPARATION NOTES

- SUBGRADE MATERIAL PREPARATION**
1. CLEAR OF VEGETATION & SOIL CONTAINING GREATER THAN 4% ORGANIC MATERIALS BY DRY WEIGHT.
 2. FILL MATERIAL SHALL BE FREE OF ORGANIC MATTER, ROCKS OR LUMPS GREATER THAN 6\"/>



PRELIMINARY

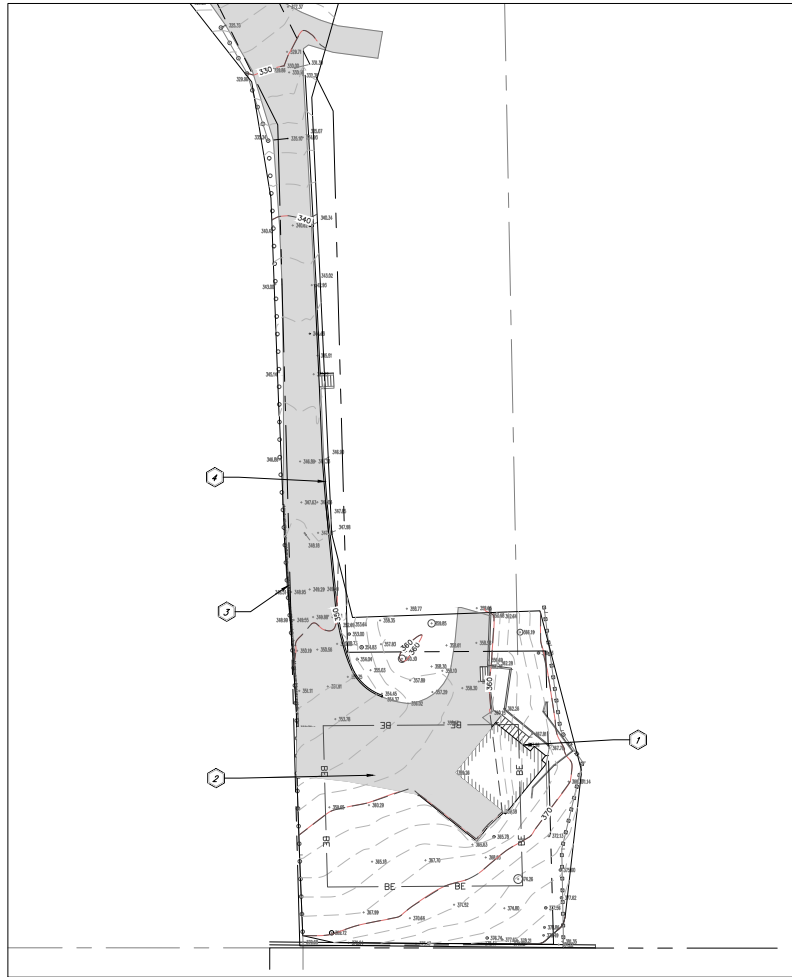
NO. 4201
CHK. GF
DATE: 06/05/2017
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DRAINAGE DETAILS

16890 CYPRESS WAY
LOS GATOS, CALIFORNIA

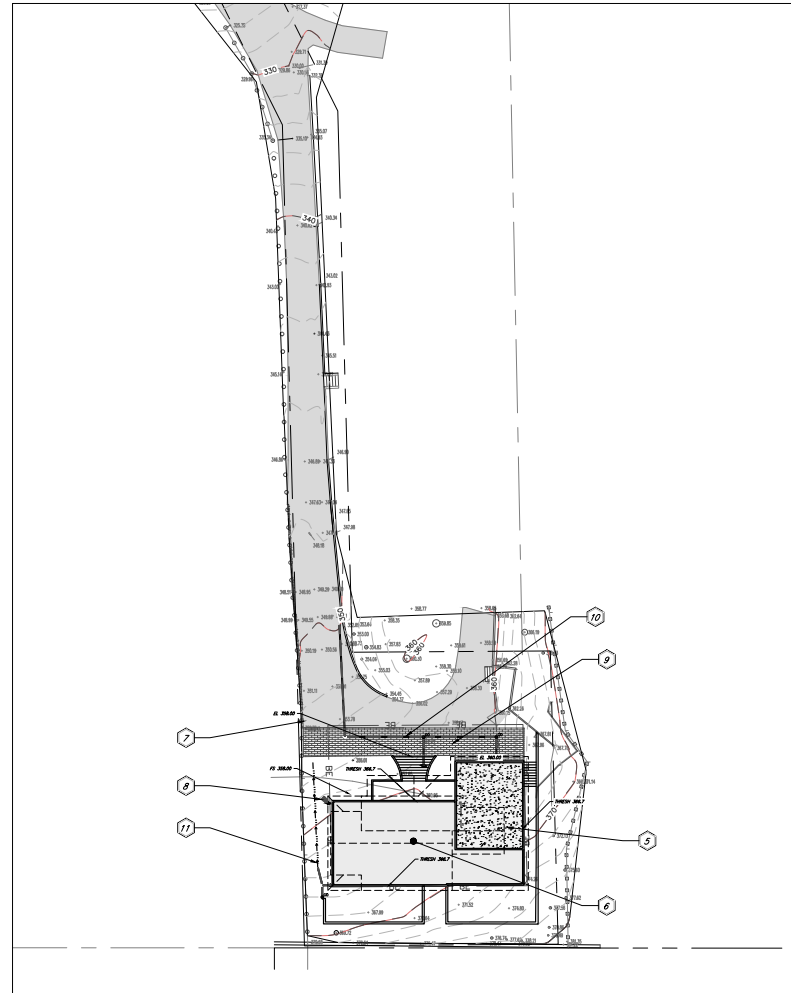
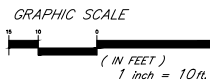


EXISTING CONDITIONS

- 1 (X) STRUCTURE TO BE REMOVED
- 2 (X) DRIVEWAY TO BE REMOVED UNDER BUILDING FOOTPRINT AND PARKING AREA
- 3 (X) DRIVEWAY ACCESS TO REMAIN
- 4 (X) RETAINING WALL ALONG SIDE OF DRIVEWAY

EXISTING SURFACE SUMMARY		
TYPE	TOTAL AREA	IMPERVIOUS AREA
DRIVEWAY (SQFT)	5222	5222
STRUCTURES (SQFT)	452	452
LANDSCAPE (SQFT)	7447	0
TOTAL (SQFT)	13121	5674

- NOTES TO CONTRACTOR:
- ALL CUTS AND FILL SLOPES SHALL BE PLANTED WITH EROSION RESISTANT VEGETATION UPON COMPLETION OF GRADING ON OR LATER THAN OCTOBER 1ST (SEE NOTES ON SHEET C2).
 - SEE SHEETS 3 FOR COMPLETE EROSION PREVENTION & SEDIMENT CONTROL NOTES.
 - CONSTRUCTION MUST ALSO COMPLY WITH THE STATE ISSUED CONSTRUCTION GENERAL PERMIT (WQID) AND ASSOCIATED SWPPP (IF APPLICABLE).
 - THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND MARKING EXISTING UNDERGROUND UTILITIES. LOCATIONS OF EXISTING UTILITIES HAVE NOT BEEN SURVEYED. RELOCATE EXISTING UTILITIES AS NECESSARY FOR PROPOSED ALIGNMENT.
 - ALL EARTHWORK SHALL BE IN COMPLIANCE WITH THE PROJECT GEOTECHNICAL REPORT AND APPROVED IN THE FIELD BY THE PROJECT GEOTECHNICAL ENGINEER.
 - SEE LANDSCAPE & ARCHITECTURAL PLAN FOR CONFIRMATION OF ALL TW/BM/ LANDSCAPE AREA SPECIFICATION.



PROPOSED IMPROVEMENTS

- 5 (P) RETAINING WALL AROUND BACK OF HOUSE
- 6 (P) RESIDENCE WITH ATTACHED ADU AND LOWER GARAGE
- 7 (P) ROCK SWALE, SEE DETAIL 5 SHEET C3
- 8 (P) DOWNSPOUT TO OUTLET ONTO RIP RAP SEE DETAIL 6 SHEET C3
- 9 (P) DRIVEWAY PAVERS
- 10 (P) PAVES SUB-DRAIN TO OUTFALL TO DOWN HILL ON ASPHALT DRIVEWAY
- 11 CONNECT (P) RETAINING WALL BACKDRAIN TO DOWNSPOUT OUTFALL TO ROCK SWALE

PROPOSED SURFACING		
TYPE	TOTAL AREA	IMPERVIOUS AREA
BUILDING	2250	2250
AC DRIVEWAY TO REMAIN	3814	3814
DRIVEWAY PAVERS	1134	0
PATIO	940	940
LANDSCAPE	4983	0
TOTAL NEW AND REPLACED	4324	3190
TOTAL	13121	7004

PRE AND POST

16890 CYPRESS WAY
LOS GATOS, CALIFORNIA

C4 OF 6

THESE PLANS WERE PREPARED BY ME OR UNDER MY DIRECTION AT THE REQUEST OF THERESA WARREN IN NOVEMBER, 2019

PRELIMINARY

GEORGE FLESSNER, R.C.E. 62860

DRN: ND
CHK: GF
DATE: 10/09/19
JOB # 4501

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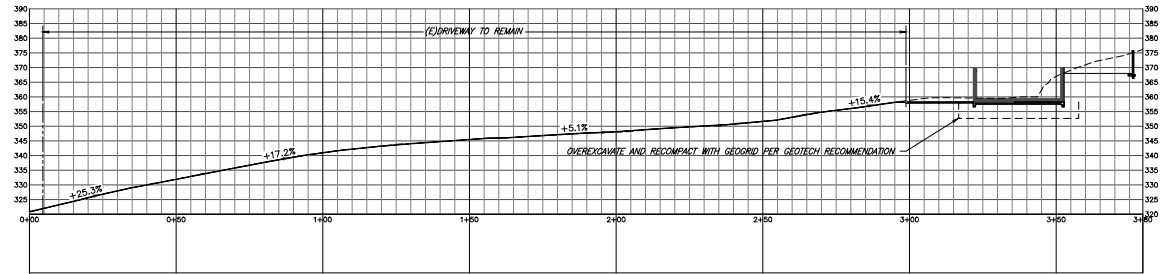
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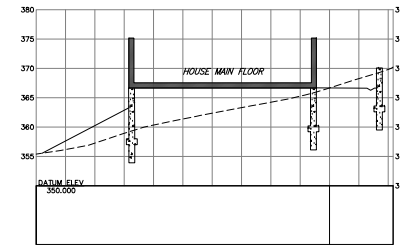
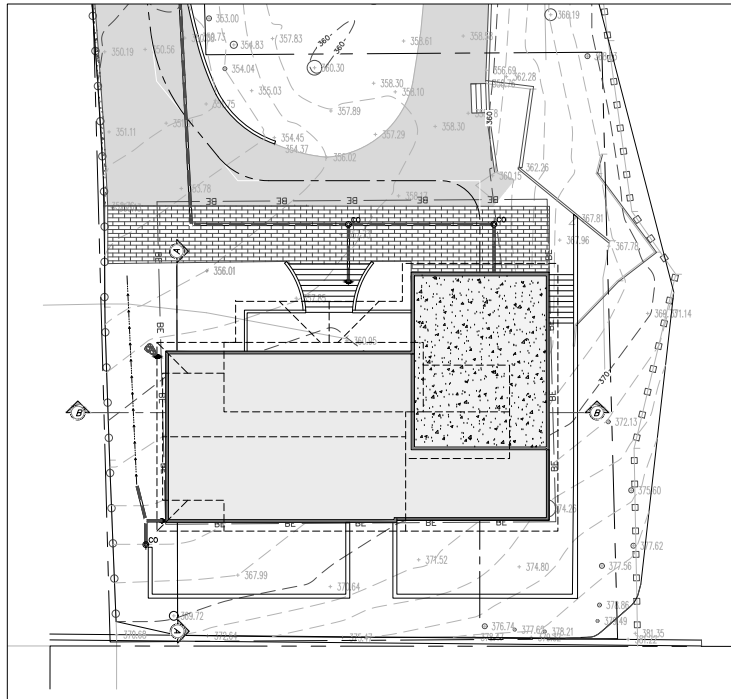
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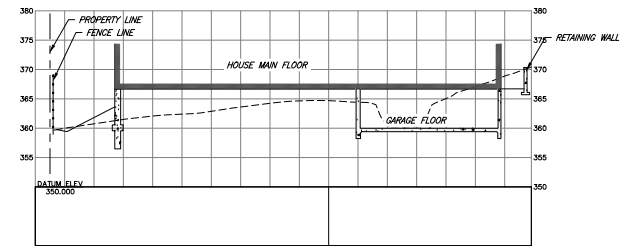
SECTIONS



DRIVEWAY PROFILE
HORIZONTAL SCALE: 1" = 20'
VERTICAL SCALE: 1" = 20'



SECTION A-A
HORIZONTAL SCALE: 1" = 10'
VERTICAL SCALE: 1" = 10'



SECTION B-B
HORIZONTAL SCALE: 1" = 10'
VERTICAL SCALE: 1" = 10'

PLAN AND PROFILES

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DRN	NO	CHK	GF

DATE	JOB#
06/19	4201

THESE PLANS WERE PREPARED BY ME OR UNDER MY DIRECTION AT THE REQUEST OF THERESA WARREN IN NOVEMBER, 2019

PRELIMINARY

GEOFF FLEISSNER R.C.E. 82880

SITE HOUSEKEEPING REQUIREMENTS

CONSTRUCTION MATERIALS

1. ALL LOOSE STOCKPILED CONSTRUCTION MATERIALS THAT ARE NOT ACTIVELY BEING USED (I.E. SOIL, SPOOLS, AGGREGATE, FLY-ASH, STUCCO, HYDRATED LIME, ETC.) SHALL BE COVERED AND BERMED.
2. ALL CHEMICALS SHALL BE STORED IN WATER-TIGHT CONTAINERS (WITH APPROPRIATE SECONDARY CONTAINMENT TO PREVENT ANY SPILLAGE OR LEAKAGE) OR IN A STORAGE SHED (COMPLETELY ENCLOSED).
3. EXPOSURE OF CONSTRUCTION MATERIALS TO PRECIPITATION SHALL BE MINIMIZED. THIS DOES NOT INCLUDE MATERIALS AND EQUIPMENT THAT ARE DESIGNATED TO BE OUTDOORS AND EXPOSED TO ENVIRONMENTAL CONDITIONS (I.E. POLES, EQUIPMENT PAWS, CABINETS, CONDUCTORS, INSULATORS, BRICKS, ETC.).
4. BEST MANAGEMENT PRACTICES TO PREVENT THE OFF-SITE TRACKING OF LOOSE CONSTRUCTION AND LANDSCAPE MATERIALS SHALL BE IMPLEMENTED.

WASTE MANAGEMENT

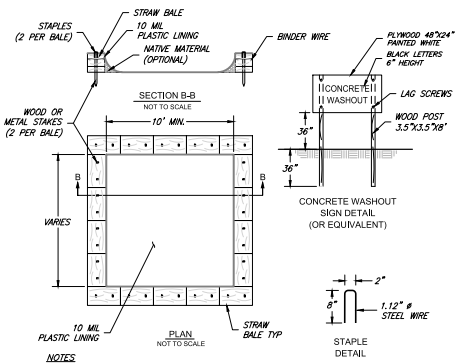
1. DISPOSAL OF AND RINSE OR WASH WATERS OR MATERIALS ON IMPERVIOUS OR PERVIOUS SITE SURFACES OR INTO THE STORM DRAIN SYSTEM SHALL BE PREVENTED.
2. SANITATION FACILITIES SHALL BE CONTAINED (E.G. PORTABLE TOILETS) TO PREVENT DISCHARGES OF POLLUTANTS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER, AND SHALL BE LOCATED A MINIMUM OF 20 FEET AWAY FROM AN INLET, STREET OR DRIVEWAY, STREAM, RIPARIAN AREA OR OTHER DRAINAGE FACILITY.
3. SANITATION FACILITIES SHALL BE INSPECTED REGULARLY FOR LEAKS AND SPILLS AND CLEANED OR REPLACED AS NECESSARY.
4. COVER WASTE DISPOSAL CONTAINERS AT THE END OF EVERY BUSINESS DAY AND DURING A RAIN EVENT.
5. DISCHARGES FROM WASTE DISPOSAL CONTAINERS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATERS SHALL BE PREVENTED.
6. STOCKPILED WASTE MATERIALS SHALL BE CONTAINED AND SECURELY PROTECTED FROM WIND AND RAIN AT ALL TIMES UNLESS ACTIVELY BEING USED.
7. PROCEDURES THAT EFFECTIVELY ADDRESS HAZARDOUS AND NON-HAZARDOUS SPILLS SHALL BE IMPLEMENTED.
8. EQUIPMENT AND MATERIALS FOR CLEANUP OF SPILLS SHALL BE AVAILABLE ON SITE AND THAT SPILLS AND LEAKS SHALL BE CLEANED UP IMMEDIATELY AND DISPOSED OF PROPERLY.
9. CONCRETE WASHOUT AREAS AND OTHER WASHOUT AREAS THAT MAY CONTAIN ADDITIONAL POLLUTANTS SHALL BE CONTAINED SO THERE IS NO DISCHARGE INTO THE UNDERLYING SOIL AND ONTO THE SURROUNDING AREAS.

VEHICLE STORAGE AND MAINTENANCE

1. MEASURES SHALL BE TAKEN TO PREVENT OIL, GREASE, OR FUEL TO LEAK IN TO THE GROUND, STORM DRAIN OR SURFACE WATERS.
2. ALL EQUIPMENT OR VEHICLES, WHICH ARE TO BE FUELED, MAINTAINED, AND STORED ON-SITE SHALL BE IN A DESIGNATED AREA FITTED WITH APPROPRIATE BMPs.
3. LEAKS SHALL BE IMMEDIATELY CLEANED AND LEAKED MATERIALS SHALL BE DISPOSED OF PROPERLY.

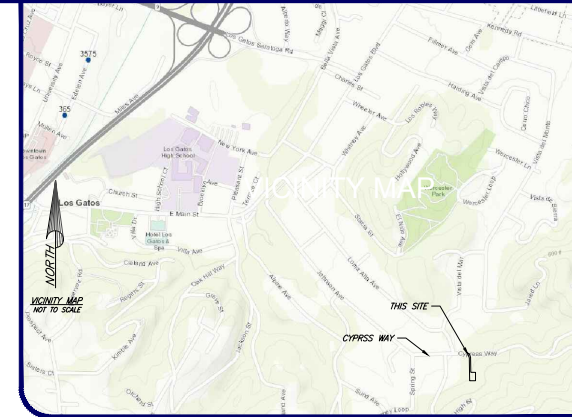
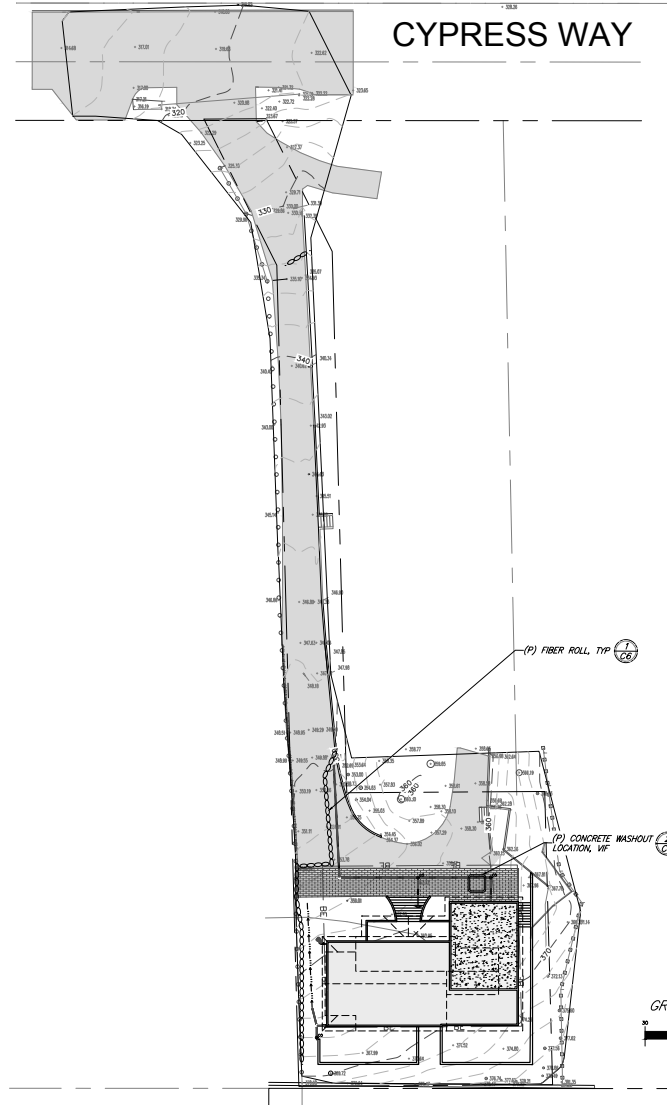
LANDSCAPE MATERIALS

1. CONTAIN STOCKPILED MATERIALS SUCH AS MULCHES AND TOPSOIL WHEN THEY ARE NOT ACTIVELY BEING USED.
2. CONTAIN FERTILIZERS AND OTHER LANDSCAPE MATERIALS WHEN THEY ARE NOT ACTIVELY BEING USED.
3. DISCONTINUE THE APPLICATION OF AND ERODIBLE LANDSCAPE MATERIAL WITHIN 2 DAYS BEFORE A FORECASTER RAIN EVENT OR DURING PERIODS OF PRECIPITATION.
4. APPLY ERODIBLE LANDSCAPE MATERIAL AT QUANTITIES AND APPLICATION RATES ACCORDING TO MANUFACTURER RECOMMENDATIONS OR BASED ON WRITTEN SPECIFICATIONS BY KNOWLEDGEABLE AND EXPERIENCED FIELD PERSONNEL.
5. STACK ERODIBLE LANDSCAPE MATERIAL ON PALLETS AND COVERING OR STORING SUCH MATERIALS WHEN NOT BEING USED OR APPLIED.



EROSION CONTROL PLAN

CYPRESS WAY

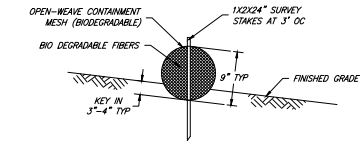


EROSION CONTROL NOTES

1. BETWEEN OCTOBER 15, AND APRIL 15, EXPOSED SOIL SHALL BE PROTECTED FROM EROSION AT ALL TIMES. MAY BALES, FILTER BENCH, OR OTHER MEANS SHALL BE EMPLOYED TO PREVENT TURBID RUNOFF TO ADJOINING PROPERTIES.
2. UNNECESSARY GRADING AND DISTURBING OF SOIL SHALL BE AVOIDED.
3. ANY EXCESS MATERIAL SHALL BE DISPOSED OF OFF-SITE OR STOCKPILED IN A MANNER TO AVOID RUNOFF ONTO ADJOINING PROPERTIES.
4. UPON COMPLETION OF CONSTRUCTION, ALL REMAINING EXPOSED AREAS SHALL BE PERMANENTLY REVEGETATED WITH GRASS.
5. ANY MATERIAL STOCKPILED DURING CONSTRUCTION SHALL BE COVERED WITH PLASTIC.
6. DURING CONSTRUCTION, NO TURBID SITE WATER SHALL BE PERMITTED TO ENTER THE CHANNEL OR STORM DRAIN SYSTEM. USE OF SILT AND GREASE TRAPS, FILTER BENCH, OR MAY BALES MAY BE USED TO PREVENT SUCH DISCHARGE.
7. CONTRACTOR SHALL NOTIFY THE COUNTY OF SANTA CRUZ AT LEAST 48 HOURS BEFORE ANY EARTHWORK IS BEGUN.
8. ALL CONSTRUCTION SHALL CONFORM TO REQUIREMENTS OF THE COUNTY OF SANTA CRUZ. NO CLEARING, GRADING, OR EXCAVATION SHALL TAKE PLACE BETWEEN OCTOBER 15 AND APRIL 15 UNLESS THERE IS AN APPROVED WINTER EROSION CONTROL PLAN. ALL DISTURBED SOIL SHALL BE SEED, MULCHED, OR OTHERWISE PROTECTED BY OCTOBER 15.
9. CONTRACTOR SHALL INSTALL UNDERGROUND STORM DRAIN SYSTEM AND STRAW BALE DIKE BARRIERS PRIOR TO OCTOBER 15.
10. BARE SOIL SHALL BE COVERED WITH SEED AND STRAW MULCH AT AN APPLICATION RATE OF 5 LB/1000 S.F. AND COVERED WITH A LAYER OF STRAW AT AN APPLICATION RATE OF 2-3 BALES/1000 S.F.

PROJECT INFORMATION

OWNER/RESPONSIVE: THERESA WARREN
16890 CYPRESS WAY
LOS GATOS, CA 95030
(408) 896-1479
S.W.P.C.P. PRACTITIONER: GEOFF FLEISSNER
2001 41ST AVENUE, SUITE A
SOLICIT, CA 95073
(817) 425-1817
gfleissner@hoganls.com
TOTAL AREA OF DISTURBANCE = 0.133 ACRE



1 FIBER ROLL BARRIER

NOTE: INSTALL FIBER ROLL ON CONTOUR.

EROSION CONTROL PLAN

16890 CYPRESS WAY
LOS GATOS, CALIFORNIA

C6 OF 6

PRELIMINARY

THESE PLANS WERE PREPARED BY ME OR UNDER MY DIRECTION AT THE REQUEST OF THERESA WARREN IN NOVEMBER, 2019

NO. 4201
CHK. GF
P.N. GF
DATE: 06/05
JOB # 16890-2019

16890 CYPRESS WAY
LOS GATOS, CALIFORNIA

APN: 532-23-072

C6 OF 6

HOGAN LAND SERVICES
A CALIFORNIA CORPORATION

2001 41ST AVENUE, SUITE A
SOLICIT, CA 95073

www.hoganls.com

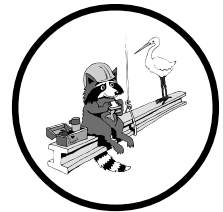
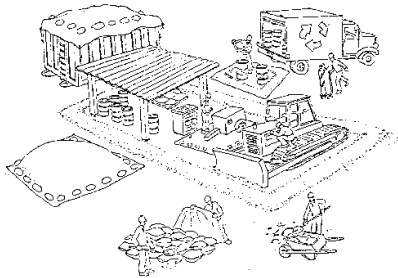
TEL: (415) 425-1817
FAX: (831) 425-1821

CEOFF FLEISSNER, P.E. 02689

Pollution Prevention — It's Part of the Plan

Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution in San Francisco Bay. Construction activities can directly affect the health of the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines will ensure your compliance with local ordinance requirements.



Materials storage & spill cleanup

Non-hazardous materials management

- ✓ Sand, dirt, and similar materials must be stored at least 10 feet from catch basins, and covered with a tarp during wet weather or when rain is forecast.
- ✓ Use (but don't overuse) reclaimed water for dust control as needed.
- ✓ Sweep streets and other paved areas daily. Do not wash down streets or work areas with water!
- ✓ Recycle all asphalt, concrete, and aggregate base material from demolition activities.
- ✓ Check dumpsters regularly for leaks and to make sure they don't overflow. Repair or replace leaking dumpsters promptly.

Hazardous materials management

- ✓ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, state, and federal regulations.
- ✓ Store hazardous materials and wastes in secondary containment and cover them during wet weather.
- ✓ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ✓ Be sure to arrange for appropriate disposal of all hazardous wastes.

Spill prevention and control

- ✓ Keep a stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ✓ When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain. Never wash spilled material into a gutter, street, storm drain, or creek!
- ✓ Report any hazardous materials spills immediately! Dial 911 or your local emergency response number.

Vehicle and equipment maintenance & cleaning

- ✓ Inspect vehicles and equipment for leaks frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.
- ✓ Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- ✓ If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinsewater to run into gutters, streets, storm drains, or creeks.
- ✓ Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.



Earthwork & contaminated soils

- ✓ Keep excavated soil on the site where it is least likely to collect in the street. Transfer to dump trucks should take place on the site, not in the street.
- ✓ Use hay bales, silt fences, or other control measures to minimize the flow of silt off the site.
- ✓ Avoid scheduling earth moving activities during the rainy season if possible. If grading activities during wet weather are allowed in your permit, be sure to implement all control measures necessary to prevent erosion.
- ✓ Mature vegetation is the best form of erosion control. Minimize disturbance to existing vegetation whenever possible.
- ✓ If you disturb a slope during construction, prevent erosion by securing the soil with erosion control fabric, or seed with fast-growing grasses as soon as possible. Place hay bales down-slope until soil is secure.
- ✓ If you suspect contamination (from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris), call your local fire department for help in determining what testing should be done.
- ✓ Manage disposal of contaminated soil according to Fire Department instructions.



Dewatering operations

- ✓ Reuse water for dust control, irrigation, or another on-site purpose to the greatest extent possible.
- ✓ Be sure to call your city's storm drain inspector before discharging water to a street, gutter, or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ✓ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the city inspector to determine what testing to do and to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.



Saw cutting

- ✓ Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, hay bales, sand bags, or fine gravel dams to keep slurry out of the storm drain system.
- ✓ Shovel, absorb, or vacuum saw-cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ✓ If saw cut slurry enters a catch basin, clean it up immediately.

Concrete, grout, and mortar storage & waste disposal

- ✓ Be sure to store concrete, grout, and mortar under cover and away from drainage areas. These materials must never reach a storm drain.
- ✓ Wash out concrete equipment/trucks off-site or designate an on-site area for washing where water will flow onto dirt or into a temporary pit in a dirt area. Let the water seep into the soil and dispose of hardened concrete with trash.
- ✓ Divert water from washing exposed aggregate concrete to a dirt area where it will not run into a gutter, or storm drain.
- ✓ If a suitable dirt area is not available, collect the wash water and remove it for appropriate disposal off site.



Paving/asphalt work

- ✓ Do not pave during wet weather or when rain is forecast.
- ✓ Always cover storm drain inlets and manholes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
- ✓ Place drip pans or absorbent material under paving equipment when not in use.
- ✓ Protect gutters, ditches, and drainage courses with hay bales, sand bags, or earthen berms.
- ✓ Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.
- ✓ Do not use water to wash down fresh asphalt concrete pavement.



Painting

- ✓ Never rinse paint brushes or materials in a gutter or street!
- ✓ Paint out excess water-based paint before rinsing brushes, rollers, or containers in a sink. If you can't use a sink, direct wash water to a dirt area and spade it in.
- ✓ Paint out excess oil-based paint before cleaning brushes in thinner.
- ✓ Filter paint thinners and solvents for reuse whenever possible. Dispose of oil-based paint sludge and unusable thinner as hazardous waste.



Storm drain polluters may be liable for fines of up to \$10,000 per day!

Material Board – 16890 Cypress Way

Siding - Board-n-Batten wood with horizontal lap siding at gable ends
Color - painted white



Milgard vinyl windows
Color - Espresso Premium



Covered Porch
Simple painted columns



Siding at Garage - Smooth Cement Plaster finish
Color - light Grey



Roofing – Metal roof
Color – light grey

